

PROJECT TITLE:
 Residential Remodel: Lopez Property
 1214 Harrington Way
 San Francisco, CA 95802

- PROJECT INFORMATION:**
- Occupancy: R-3 Single Family Residential
 - Construction Type: V-B (Non-rated wood-frame construction)
 - Project Scope: Interior and limited exterior remodel with updates to energy systems and structure as required.

GENERAL NOTES

- 1 Contractor shall verify all existing conditions and dimensions prior to construction. Notify Architect of any discrepancies before proceeding with work.
- 2 Do not scale drawings. Use written dimensions only.
- 3 All work shall comply with applicable California Residential Code (CRC), California Energy Code (Title 24), and local jurisdiction requirements.
- 4 All materials and products shall be installed in accordance with manufacturer recommendations and accepted industry standards.
- 5 Coordinate architectural drawings with structural, mechanical, electrical, and plumbing requirements.

APPLICABLE CODES

- 2022 California Residential Code (CRC)
- 2022 California Energy Code (Title 24)
- Applicable local zoning and municipal requirements

ENERGY EFFICIENCY NOTES (Title 24 – Part 6):

- 1 All new lighting shall be high efficacy and controlled by vacancy sensors as required.
- 2 Attic insulation shall be upgraded to **R-38** minimum where exposed; wall insulation to **R-15** min (2x4) or **R-21** (2x6).
- 3 All windows added or replaced shall be dual-pane, low-E, with a **maximum U-factor of 0.30** and **SHGC of 0.23**.
- 4 Ductwork shall be sealed and tested to meet $\leq 6\%$ leakage (where new ducts are installed).
- 5 HVAC equipment shall meet or exceed minimum SEER 14 / AFUE 80 ratings.
- 6 Domestic hot water piping shall be insulated per code.
- 7 Provide continuous air barrier and proper sealing at all penetrations.

SITE WORK NOTES:

- 1 Protect existing vegetation and structures unless otherwise noted.
- 2 Erosion control measures shall be installed and maintained per local BMP requirements.
- 3 Grading shall ensure positive drainage away from structure; minimum 5% slope within first 10 feet.
- 4 Concrete flatwork adjacent to the foundation shall be sloped 2% away from the structure.

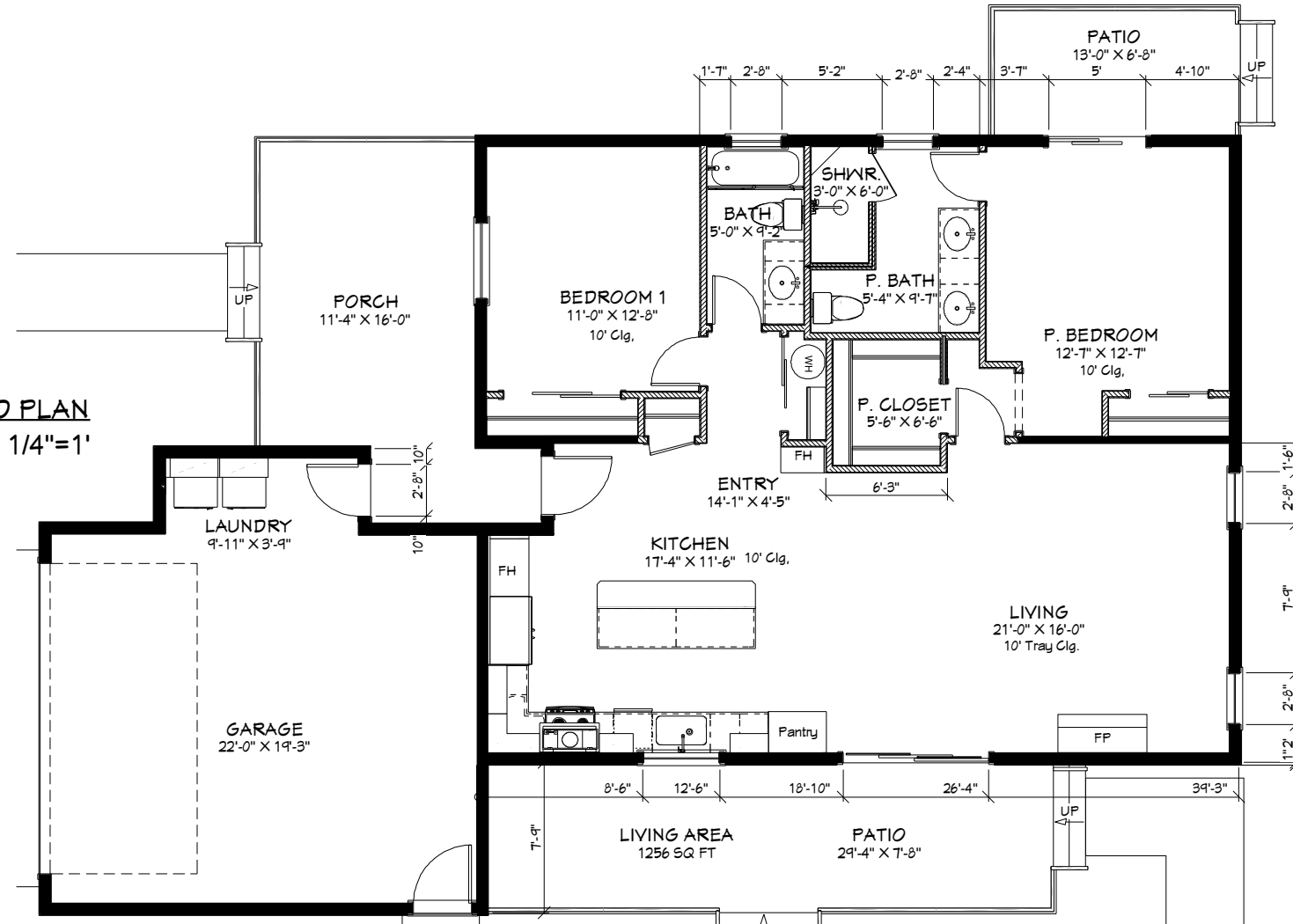
1 FRAMING NOTES

- 1 Coordinate framing modifications with applicable structural requirements.
- 2 Provide framing, blocking, and backing as required for new openings, cabinetry, fixtures, and finish elements.
- 3 Verify all existing framing conditions in field prior to construction.
- 4 Coordinate framing dimensions and soffit conditions with architectural, mechanical, and electrical requirements.

COVER



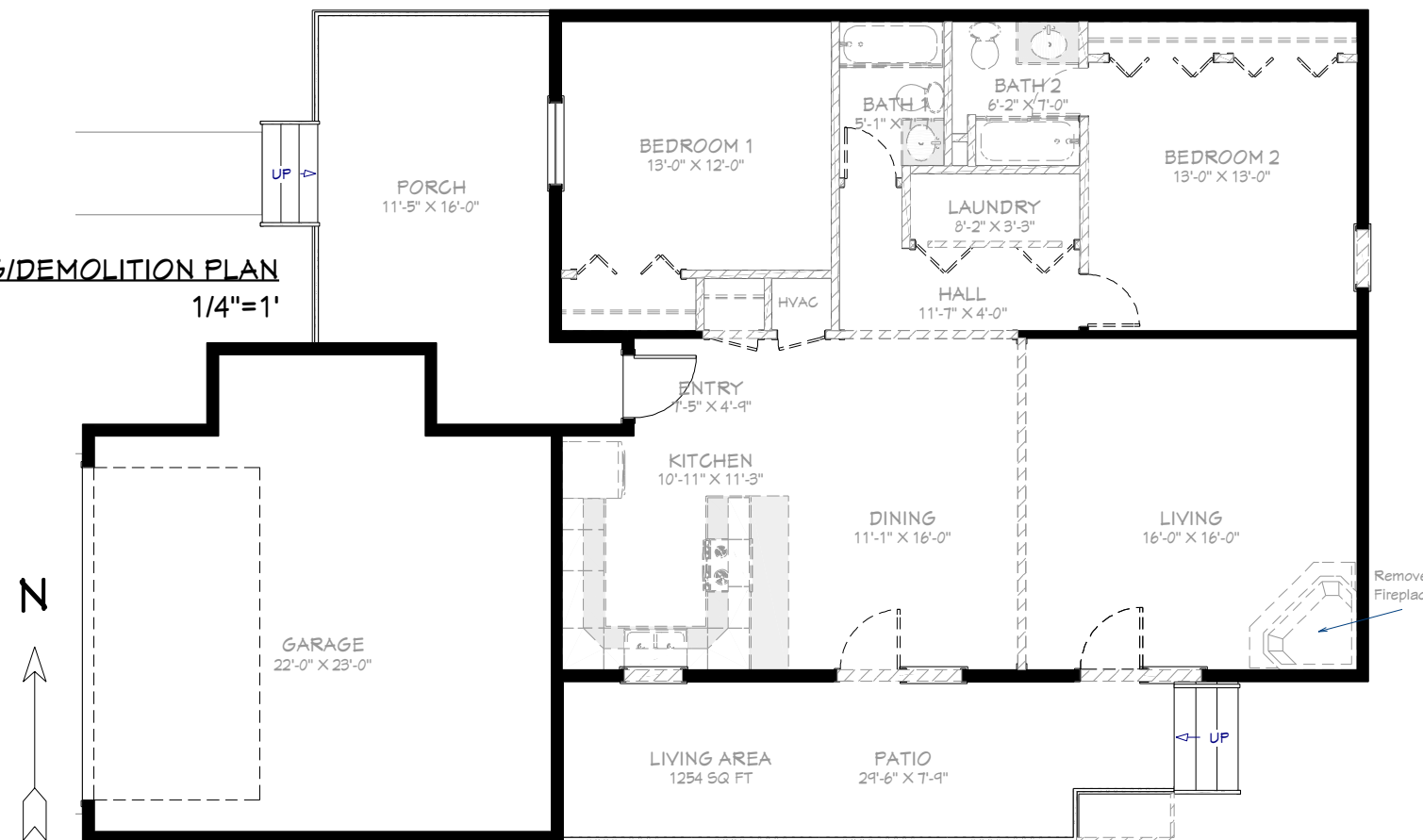
PROPOSED PLAN
1/4"=1'



EXISTING/DEMO PLAN NOTES

- 1 Verify all existing conditions prior to demolition. Notify Architect of discrepancies before proceeding with work.
- 2 Remove walls, fixtures, finishes, and equipment as indicated on drawings unless noted otherwise to remain.
- 3 Protect all existing construction and adjacent surfaces to remain throughout demolition and construction activities.
- 4 Coordinate demolition work with structural, mechanical, electrical, and plumbing requirements.
- 5 Cap, remove, or reroute utilities as required to accommodate proposed construction.
- 6 Patch and repair adjacent surfaces affected by demolition to receive new construction and finishes.
- 7 Verify location of concealed utilities and existing conditions prior to cutting or removal operations.
- 8 Do not remove load-bearing elements unless properly coordinated and supported as required.

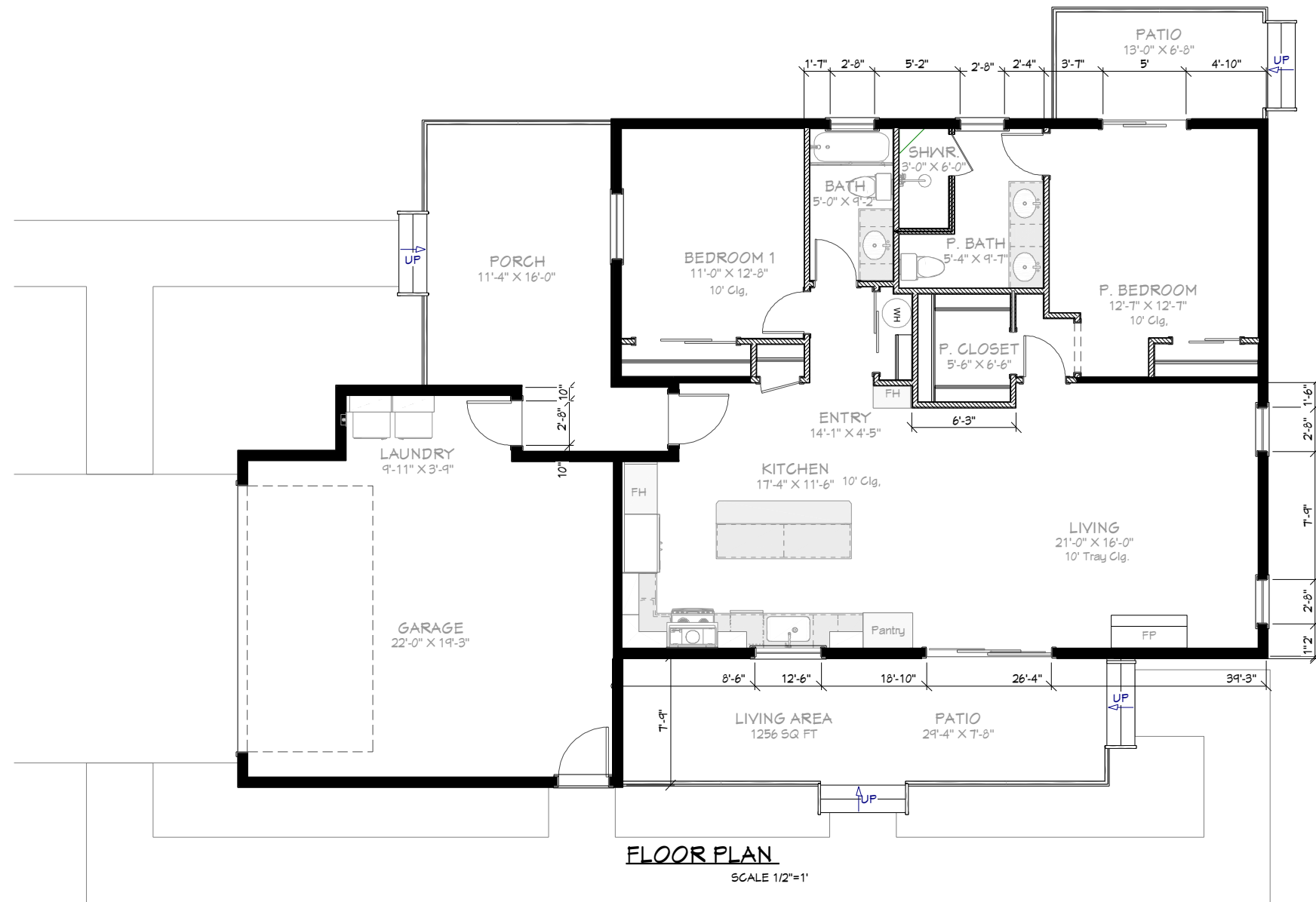
EXISTING/DEMOLITION PLAN
1/4"=1'



WALL LEGEND

- Interior Railing
- Interior-4
- Exterior-6
- Demo Wall/Fixture
- New Wall
- Existing Wall to Remain

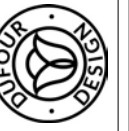




PROPOSED PLAN
1/4"=1'

GENERAL FLOOR PLAN NOTES

- 1 All dimensions are to face of stud, face of masonry, or centerline of openings unless otherwise noted.
- 2 Do not scale drawings. Use written dimensions only.
Contractor shall field verify all dimensions and existing conditions prior to construction.
- 3 Coordinate architectural drawings with structural, mechanical, electrical, and plumbing requirements.
- 4 All work shall comply with applicable California Residential Code (CRC), California Energy Code (Title 24), and local jurisdiction requirements.
- 5 All materials and workmanship shall conform to accepted industry standards and manufacturer installation requirements.
- 6 Provide blocking as required for wall-mounted fixtures, cabinetry, accessories, and equipment.
- 7 Verify all door and window sizes and locations prior to fabrication and installation. Refer to schedules for additional information.
- 8 Maintain required code clearances and egress paths throughout construction.
- 9 Install smoke and carbon monoxide detectors per applicable code requirements.
- 10 Coordinate finish transitions at floor, wall, and ceiling conditions. Match adjacent finishes unless otherwise noted.
- 11 Provide access panels where required for concealed valves, cleanouts, or equipment requiring service access.
- 12 Refer to enlarged plans, interior elevations, sections, and details for additional information not shown on floor plan drawings.



© 2023

SCALE 24" X 36"

DATE:

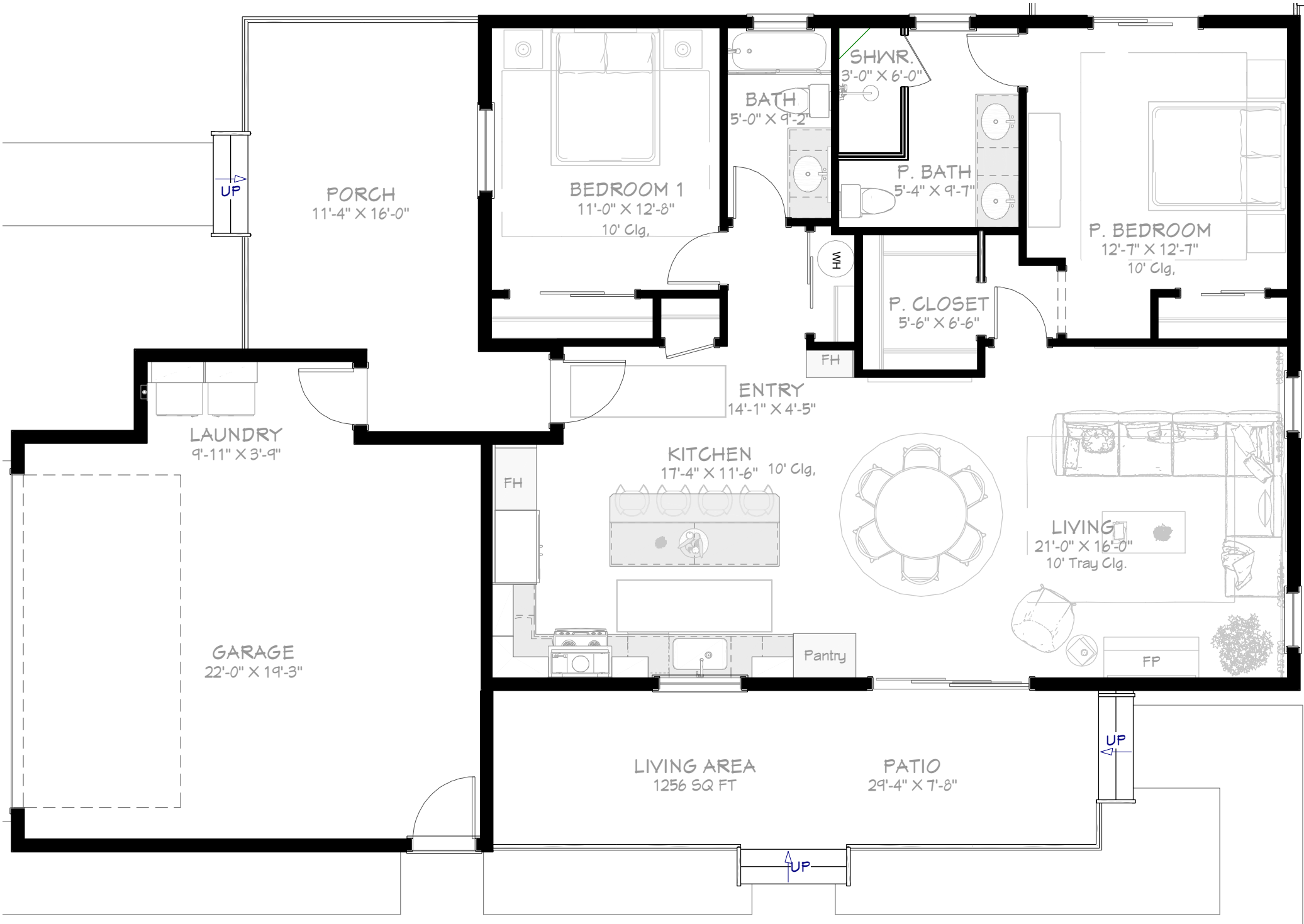
2023

DRAWN BY:

A. Dufour

SHEET NUMBER

3



FURNITURE PLAN
3/8"=1'

FURNITURE PLAN



Dufour Design
1700 El Camino Real S San Francisco, CA. 94080
415-916-2968
dufour-design.com

1214 Harrington Way
San Francisco, CA 95802

Lopez Property

FURNITURE PLAN

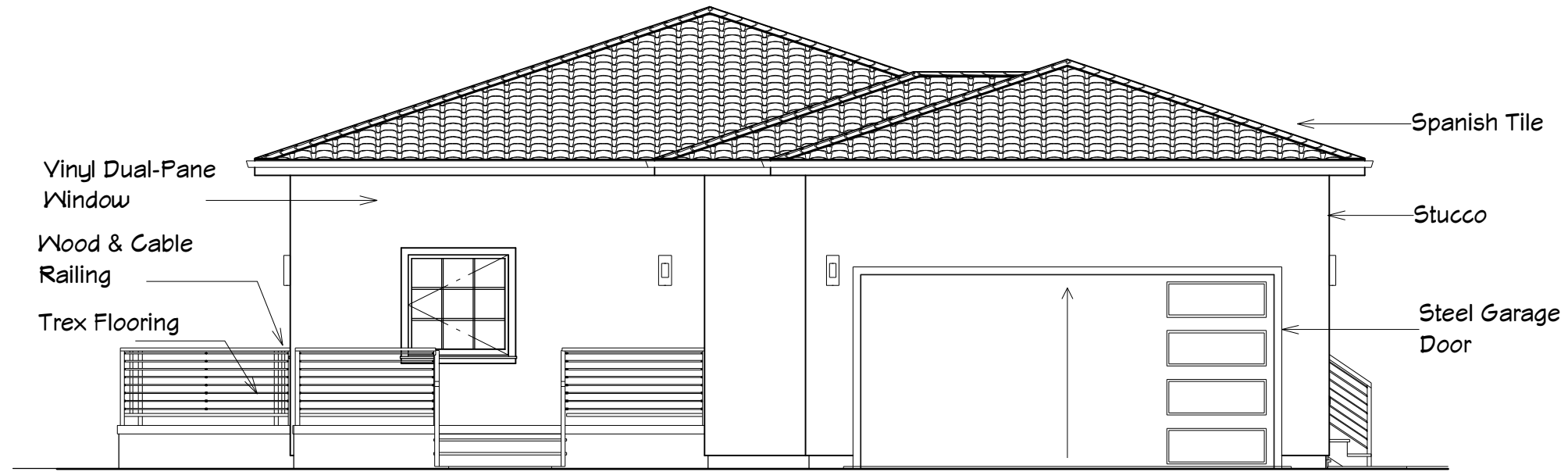
SCALE 24" X 36"
DATE:
2023
DRAWN BY:
A. Dufour

SHEET NUMBER

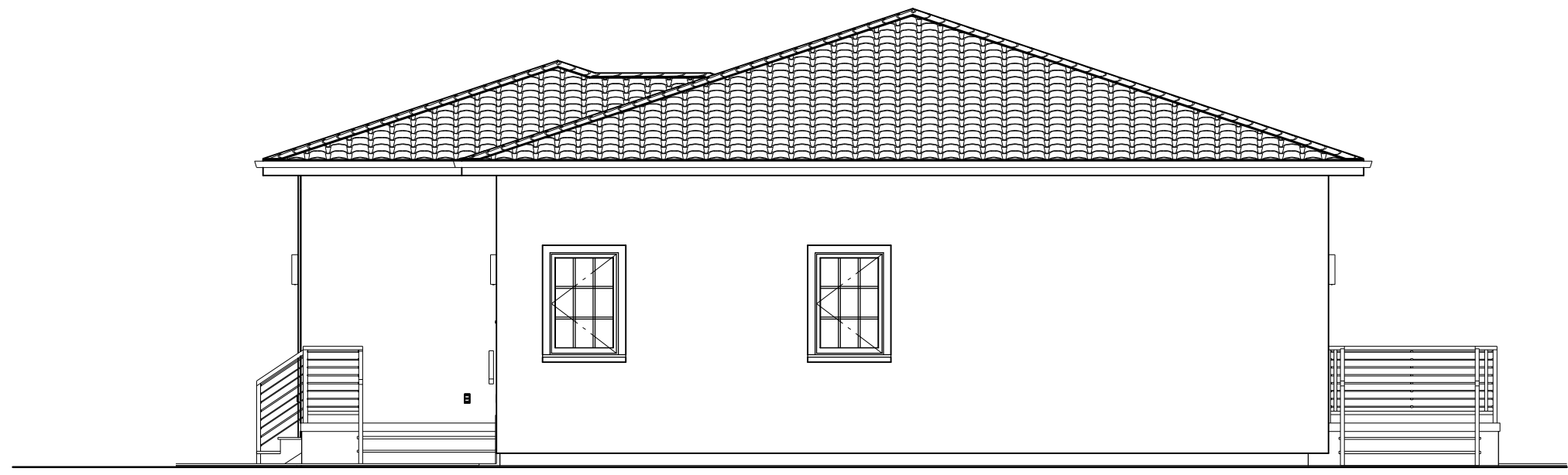
4

GENERAL EXTERIOR ELEVATION NOTES

- 1 All exterior finishes and materials shall match approved selections, finish schedules, and material legends unless otherwise noted.
- 2 Verify all exterior dimensions, openings, and finish conditions prior to fabrication and installation.
- 3 Install exterior finishes, trim, flashing, and weatherproofing in accordance with manufacturer requirements and applicable codes.
- 4 Seal and flash all exterior penetrations to maintain weather-resistant construction.
- 5 Coordinate roof slopes, overhangs, trim alignments, and exterior finish transitions with architectural drawings and existing conditions.
- 6 All exterior doors and windows shall comply with applicable Title 24 energy requirements.
- 7 Coordinate exterior elevations with floor plans, sections, and details. Notify Architect of discrepancies prior to construction.
- 8 Paint exposed vents, louvers, utility boxes, and similar elements to match adjacent surfaces unless otherwise noted.



EXTERIOR FRONT (WEST) ELEVATION
1/4"=1'



EXTERIOR BACK (EAST) ELEVATION
1/4"=1'

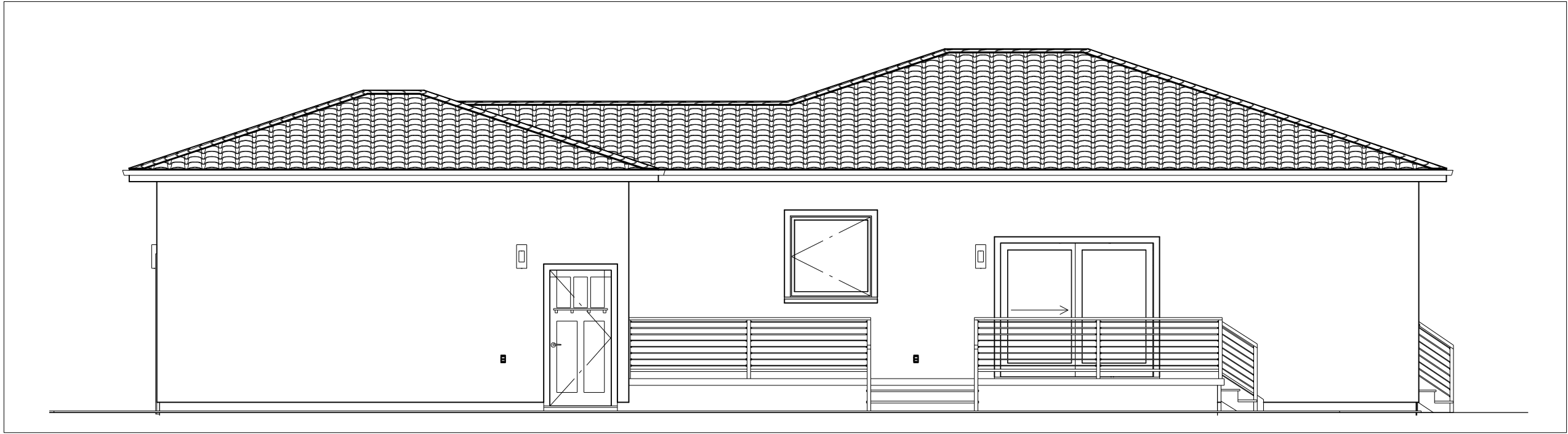


EXTERIOR ELEVATIONS 1

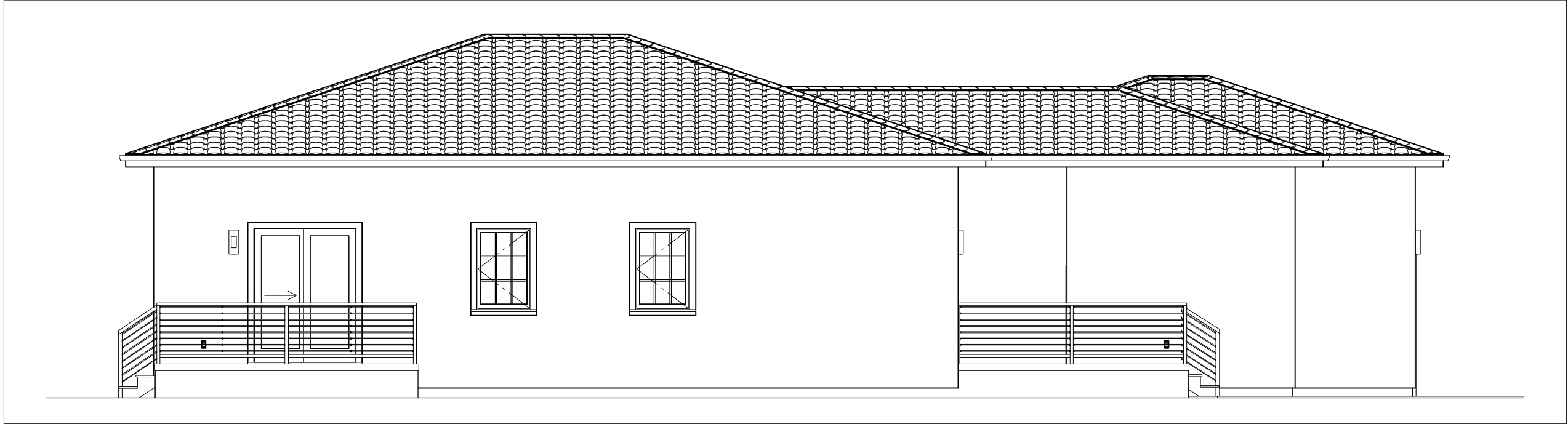
SCALE 24" X 36"
DATE:
2023
DRAWN BY:
A. Dufour

SHEET NUMBER

5



EXTERIOR SIDE (SOUTH) ELEVATION
1/4"=1'



EXTERIOR SIDE (NORTH) ELEVATION
1/4"=1'



© 2023

1214 Harrington Way
San Francisco, CA 95802

Lopez Property

**EXTERIOR
ELEVATIONS 2**

SCALE 24" X 36"

DATE:

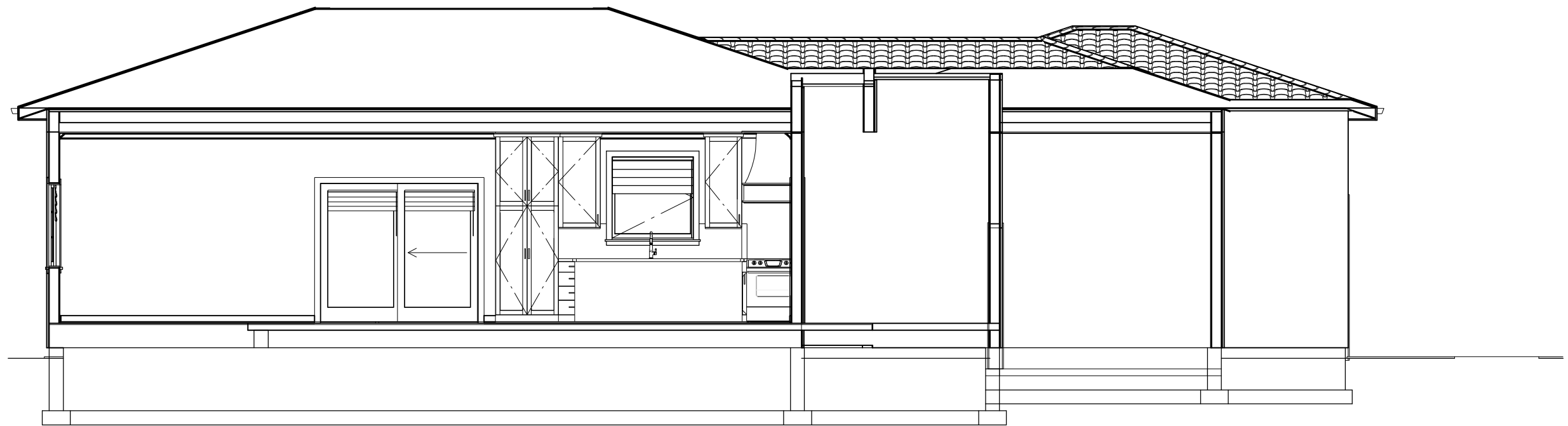
2023

DRAWN BY:

A. Dufour

SHEET NUMBER

6



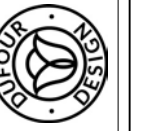
63 KITCHEN/LIVING/GARAGE SECTION
1/2"=1'

INTERIOR SECTIONS NOTES

- 1 Coordinate wall, ceiling, and soffit conditions with architectural, mechanical, electrical, and plumbing requirements.
- 2 Verify ceiling heights, framing conditions, and finish transitions prior to construction.
- 3 Provide blocking as required for wall-mounted fixtures, cabinetry, accessories, and hardware.
- 4 Provide moisture-resistant backing materials at all wet areas in accordance with applicable code and manufacturer requirements.
- 5 Coordinate interior finish transitions and alignments with adjacent materials and construction.
- 6 Provide sound insulation at bathroom walls and other locations where indicated or required.
- 7 Maintain required fireblocking and draftstopping within concealed framing cavities per applicable code requirements.
- 8 Refer to floor plans, interior elevations, finish schedules, and details for additional information and material coordination.



SECTIONS 1



© 2023

1214 Harrington Way
San Francisco, CA 95802

Lopez Property

SECTIONS 1

SCALE 24" X 36"

DATE:

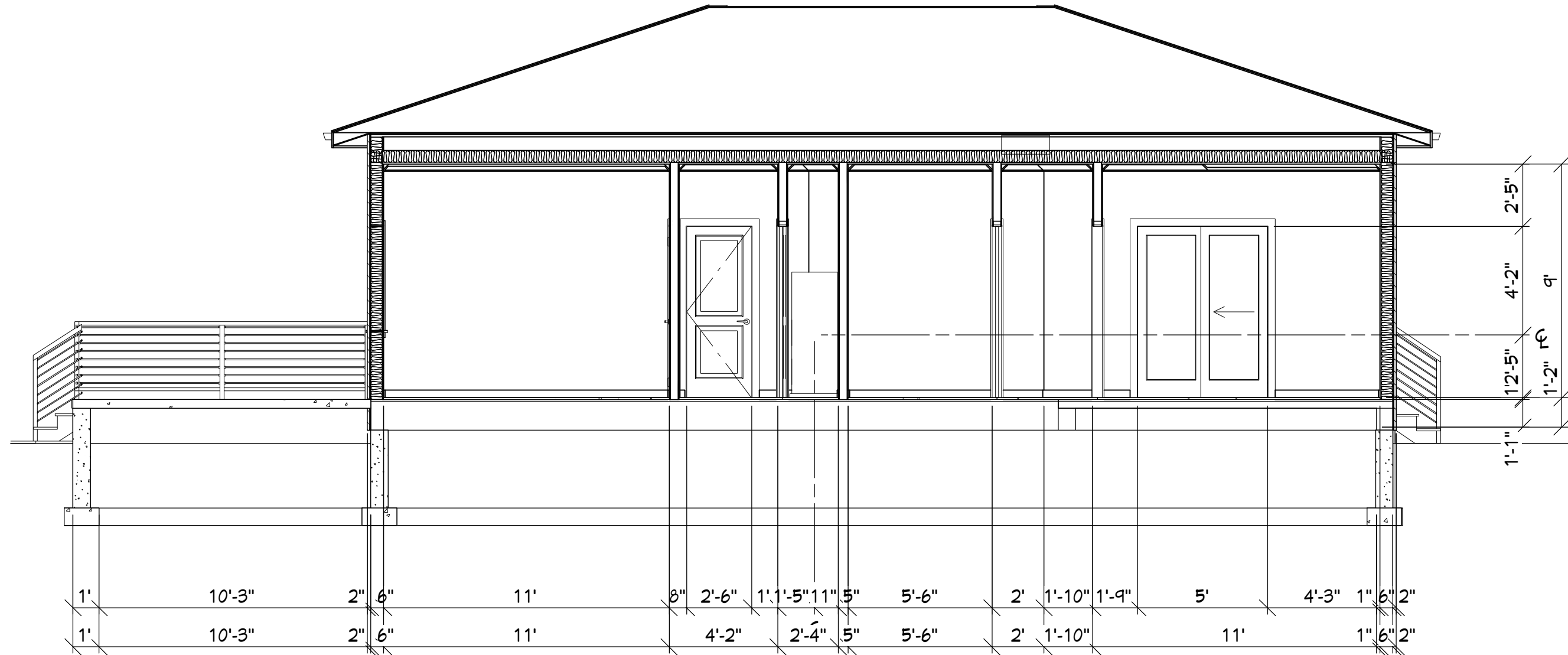
2023

DRAWN BY:

A. Dufour

SHEET NUMBER

7



53 BEDROOM/BATHROOM SECTION
1/2"=1'

INTERIOR SECTIONS NOTES

- 1 Verify all existing framing, ceiling heights, and soffit conditions prior to construction.
- 2 Coordinate interior framing, soffits, lighting, ductwork, and plumbing requirements with architectural drawings.
- 3 Provide blocking as required for cabinetry, accessories, fixtures, and wall-mounted equipment.
- 4 Provide moisture-resistant backing materials at wet areas in accordance with applicable code and manufacturer requirements.
- 5 Coordinate finish transitions between adjacent materials for clean and continuous alignment.
- 6 Provide sound insulation at bathroom and bedroom partitions where applicable.
- 7 Maintain required fireblocking and draftstopping within concealed framing cavities per applicable code requirements.
- 8 Refer to floor plans, interior elevations, finish schedules, and details for additional coordination and material information.



SECTIONS 2



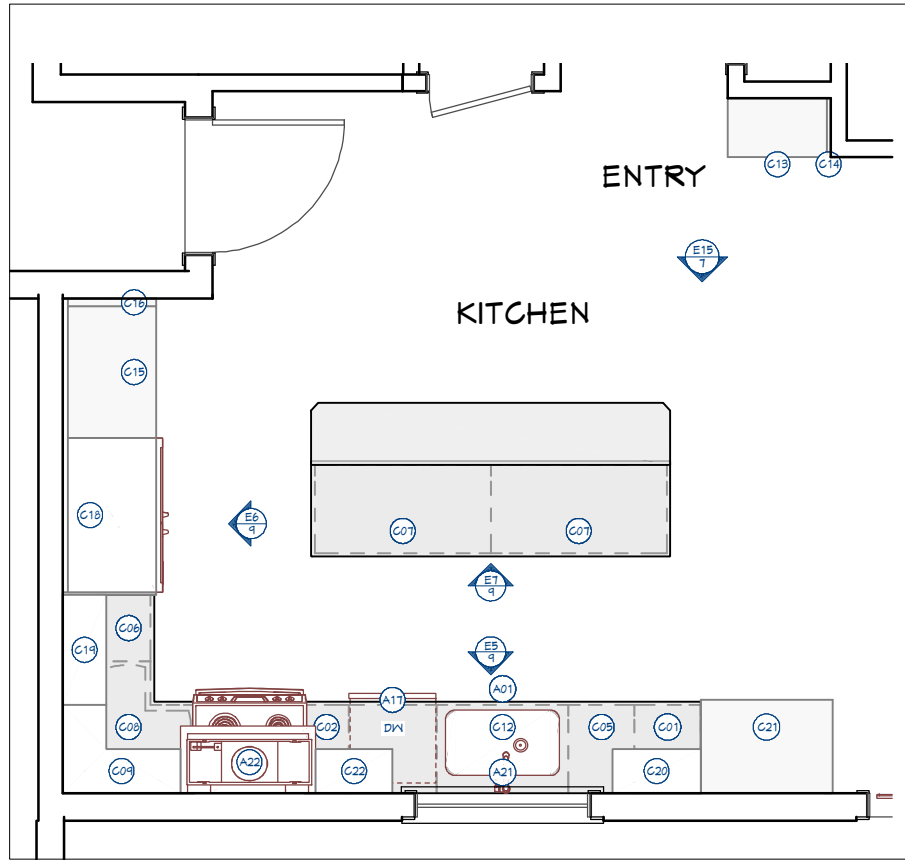
1214 Harrington Way
San Francisco, CA 95802
Lopez Property

SECTIONS 2

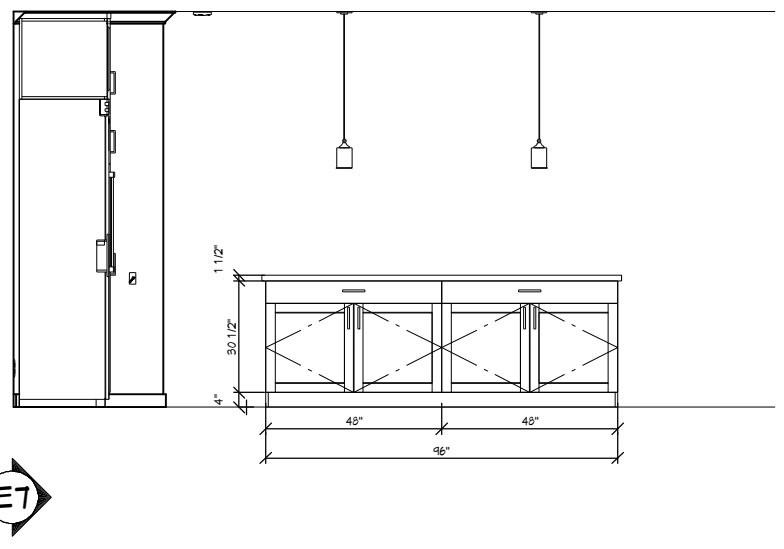
SCALE 24" X 36"
DATE:
2023
DRAWN BY:
A. Dufour

SHEET NUMBER

8



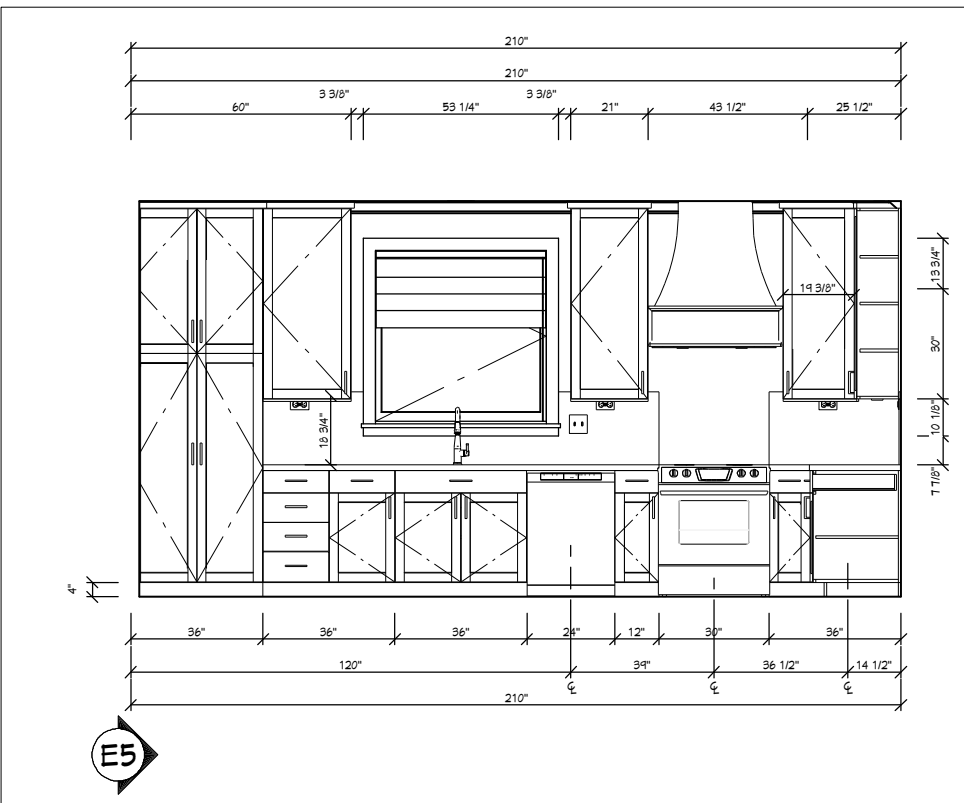
KITCHEN PLAN
1/2"=1'



E7

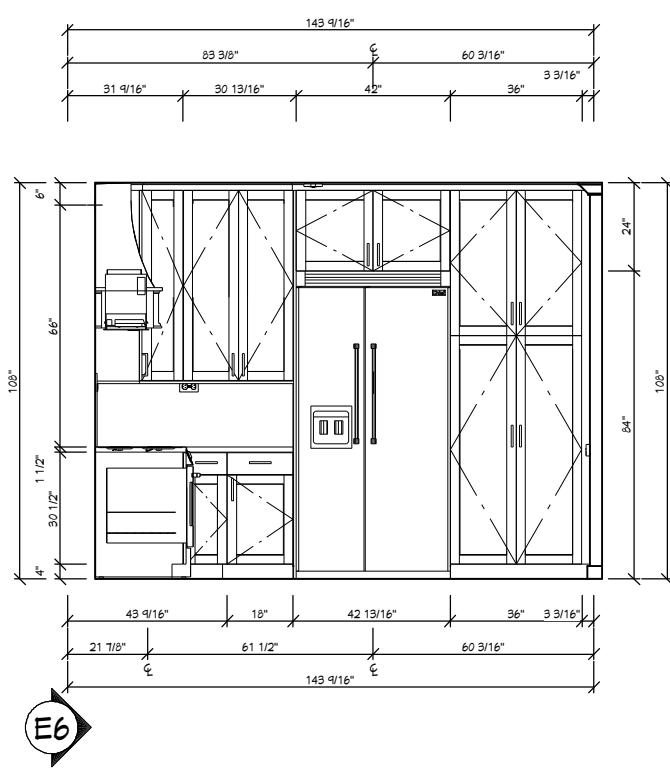
KITCHEN ELEVATION NOTES

- 1 Verify all appliance dimensions, cabinet clearances, and rough opening requirements prior to fabrication and installation.
- 2 Install cabinetry level, plumb, and securely anchored in accordance with manufacturer requirements.
- 3 Provide blocking as required for wall-mounted cabinetry, shelving, hood assemblies, and accessories.
- 4 Coordinate cabinet openings, appliance clearances, plumbing fixtures, and electrical requirements with approved layouts and schedules.
- 5 Install backsplash and wall finishes in accordance with finish schedule and material specifications.
- 6 Provide GFCI-protected receptacles at countertop locations per applicable electrical code requirements.
- 7 Vent hood exhaust to exterior in accordance with manufacturer requirements and applicable code.
- 8 Coordinate cabinet, soffit, trim, and finish alignments for clean transitions at adjacent walls and ceiling conditions.
- 9 Verify finish selections, edge profiles, and material transitions prior to installation.



E5

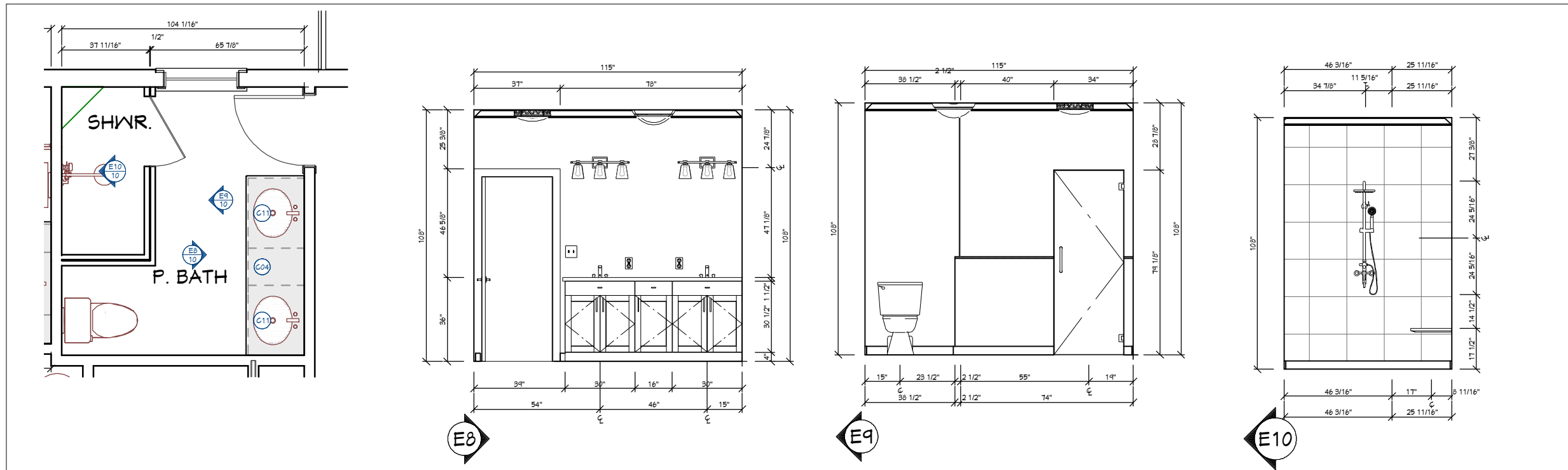
KITCHEN ELEVATIONS
1/2"=1'



E6

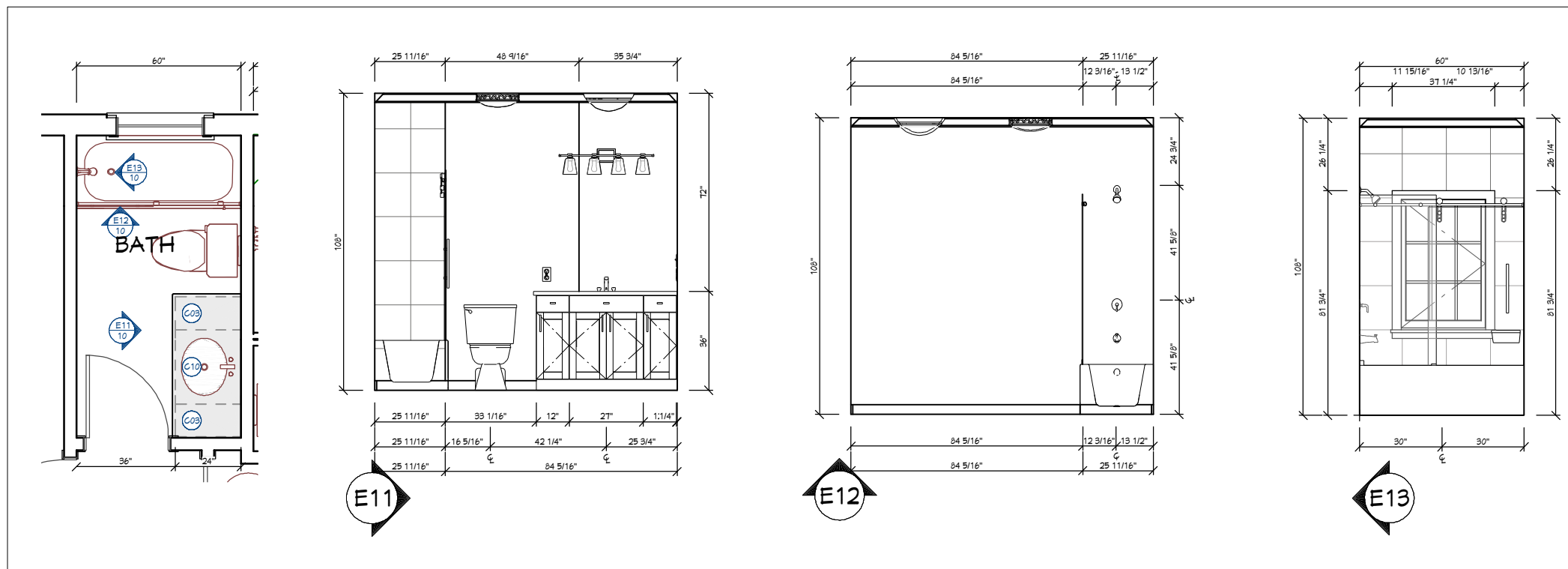
KITCHEN PLAN & ELEVATIONS





PRIMARY BATHROOM PLAN & ELEVATIONS

1/2" = 1'



SECONDARY BATHROOM PLAN & ELEVATIONS

1/2" = 1'

BATHROOM ELEVATION NOTES

- 1 Verify all fixture locations, dimensions, and rough-in requirements prior to installation.
- 2 Coordinate plumbing fixtures, cabinetry, accessories, and electrical devices with approved layouts and elevations.
- 3 Provide moisture-resistant backing materials at all wet areas in accordance with applicable code and manufacturer requirements.
- 4 Install tile, wall finishes, and trim for clean alignment and transitions at adjacent materials and edges.
- 5 Install vanities, mirrors, and accessories level, plumb, and securely anchored to wall framing.
- 6 Provide GFCI-protected receptacles adjacent to lavatories per applicable electrical code requirements.
- 7 Provide blocking as required for wall-mounted accessories, fixtures, and grab bars.
- 8 Verify shower and plumbing fixture mounting heights and alignment prior to installation.
- 9 Coordinate lighting fixture placement with mirrors, cabinetry, and adjacent finish conditions.



DOOR AND WINDOW SCHEDULE

NUMBER	LABEL	QTY	ROOM NAME	SIZE	R/O	DESCRIPTION	HEADER
D01	2468	1	UNSPECIFIED/ENTRY	2468 L IN	29 13/16"X82 1/2"	HINGED-DOOR F04	2"X6"X32 13/16" (2)
D02	2668	1	P. BATH/SHWR.	2668 L	30"X80"	SHOWER-GLASS SLAB	
D03	2668	1	BEDROOM 1/LIVING	2668 L IN	32"X82 1/2"	HINGED-DOOR F04	2"X6"X35" (2)
D04	2668	1	P. CLOSET/BEDROOM 2	2668 R	61 1/4"X82 1/2"	POCKET-DOOR F04	2"X6"X64 1/4" (2)
D05	2668	1	P. BATH/P. BEDROOM	2668 R IN	32"X82 1/2"	HINGED-DOOR F04	2"X6"X35" (2)
D06	2868	1	BREEZEWAY/LAUNDRY	2868 R EX	34"X83"	EXT. HINGED-DOOR E21	2"X6"X31" (2)
D07	3068	1	GARAGE	3068 R EX	38"X83"	EXT. HINGED-DOOR E21	2"X6"X41" (2)
D08	4068	1	P. BEDROOM/BEDROOM 2	4068 R IN	50"X82 1/2"	SLIDER-DOOR F04	2"X8"X53" (2)
D09	41068	1	CLOSET/LIVING	41068 R IN	60"X82 1/2"	SLIDER-DOOR F04	2"X8"X63" (2)
D10	5068	1	P. BEDROOM/PATIO	5068 L EX	62"X83"	EXT. SLIDER-GLASS PANEL	2"X8"X65" (2)
D11	6068	1	BEDROOM 1/UNSPECIFIED	6068 L IN	74"X82 1/2"	SLIDER-DOOR F04	2"X8"X77" (2)
D12	7668	1	LIVING/PATIO	7668 L EX	92"X83"	EXT. SLIDER-GLASS PANEL	2"X10"X95" (2)
D13	28405C	1	BATH	28405C	33"X49"	SINGLE CASEMENT-HL	2"X6"X36" (2)
D14	40405C	1	BEDROOM 1/PORCH	40405C	44"X49"	SINGLE CASEMENT-HL	2"X8"X52" (2)
D15	2668	1	BEDROOM 2/LIVING	2668 L IN	32"X82 1/2"	HINGED-DOOR F04	2"X6"X35" (2)
D16	2668	1	LIVING/BATH	2668 L IN	32"X82 1/2"	HINGED-DOOR F04	2"X6"X35" (2)
D17	28405C	2	LIVING	28405C	33"X49"	SINGLE CASEMENT-HL	2"X6"X36" (2)
D18	28405C	1	P. BATH	28405C	33"X49"	SINGLE CASEMENT-HL	2"X6"X36" (2)
D19	40405C	1	KITCHEN/PATIO	40405C	49"X49"	SINGLE CASEMENT-HL	2"X8"X52" (2)

PLUMBING FIXTURE SCHEDULE

NUMBER	LABEL	QTY	ROOM NAME	WIDTH	DEPTH	HEIGHT
A01	SINGLE BASIN UNDERMOUNT SINK WIDE [31 9/16W]	1	KITCHEN	31 9/16"	18 1/2"	11 9/16"
A02	ELECTRIC RANGE - INTEGRATED [31W]	1	KITCHEN	31"	28 5/8"	36 1/16"
A03	ELONGATED TOILET	1	BATH	19 3/16"	32 5/8"	31"
A04	FRONT LOADING CLOTHES WASHER	1	LAUNDRY	26 7/8"	28 7/8"	42 11/16"
A05	GLASS FRONT CLOTHES DRYER	1	LAUNDRY	26 7/8"	28 7/8"	42 11/16"
A06	IN-WALL HOT/COLD WATER HOOKUP	1	LAUNDRY	10 1/8"	3 3/4"	8 3/4"
A07	MEDIUM ELECTRIC WATER HEATER	1	CLOSET	24 1/2"	23"	58 1/16"
A08	MINIMAL VASE W BANKSIA	1	LIVING	8 1/2"	8 13/16"	10 3/8"
A09	MUUTO VASE W AGAPANTHUS	1	KITCHEN	6 7/16"	6 13/16"	10 15/16"
A10	OVAL UNDERMOUNT SINK [20 3/4W]	1	BATH	20 3/4"	19 7/16"	14"
A11	PULLED (TIGHT)	2	LIVING	40"	1 1/4"	26 3/8"
A12	RH TABLE	1	LIVING	18 1/16"	18 1/16"	18 3/4"
A14	STACKED BOOKS	1	LIVING	8"	13"	5"
A15	TUB-SHOWER 5	1	BATH	60"	27"	83 1/4"
A16	EPICUREAN CHIMNEY RANGE HOOD	1	KITCHEN	36 13/16"	18 7/16"	39 5/8"
A17	DW	1	KITCHEN	24"	26 9/16"	33 1/2"
A18	R42"	1	KITCHEN	42"	26"	84"
A19	ELONGATED TOILET	1	P. BATH	19 3/16"	32 5/8"	31"
A20	OVAL UNDERMOUNT SINK [20 3/4W]	2	P. BATH	20 3/4"	19 7/16"	14"
A21	9113T-DST 1-HOLE	1	KITCHEN	4 1/4"	11 1/4"	15 11/16"
A22	HPB3011-4 N	1	KITCHEN	34"	12 7/16"	16 1/4"
A23	SINGLE HANDLE WALL MOUNTED FAUCET	1	SHWR.	10 1/8"	22 7/8"	48 5/8"

FINISH SCHEDULE

ROOM NAME	CEILING HEIGHT	WALL MATERIAL	FLOOR FINISH	CEILING FINISH	BASE MOLDING	CROWN MOLDING	WINDOW CASING	WINDOW SILL	DOOR CASING
BATH	109 1/2"	DRYWALL, WHITE TILE	IVORY TILES, THINSET MORTAR, BACKERBOARD 1/4"	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
BEDROOM 1	109 1/2"	DRYWALL, WHITE TILE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
BEDROOM 2	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
BREEZEWAY		9675 PAINT BOX - T20 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE					STOCK
BREEZEWAY		DRYWALL		DRYWALL, COLOR - WHITE					STOCK
CLOSET	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
ENTRY	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
LAUNDRY	135 5/8"	9675 PAINT BOX - T20 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE					STOCK
GARAGE	135 5/8"	9675 PAINT BOX - T20 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE					STOCK
KITCHEN	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	
LIVING	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
LIVING	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
P. BATH	109 1/2"	DRYWALL, GLASS TEMPERED	IVORY TILES, THINSET MORTAR, BACKERBOARD 1/4"	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
P. BEDROOM	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
P. CLOSET	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
PATIO		9675 PAINT BOX - T20 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE			STOCK	STOCK	STOCK
PATIO		9675 PAINT BOX - T20 ITALIAN STUCCO		DRYWALL, COLOR - WHITE					STOCK
PORCH		9675 PAINT BOX - T20 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE			STOCK	STOCK	
SHWR.	109 1/2"	GLASS TEMPERED, WHITE TILE	IVORY TILES, THINSET MORTAR, BACKERBOARD 1/4"	DRYWALL, COLOR - WHITE	STOCK	CM-01			
UNSPECIFIED	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK

SCHEDULES
No Scale

NOTES

GENERAL SCHEDULE NOTES

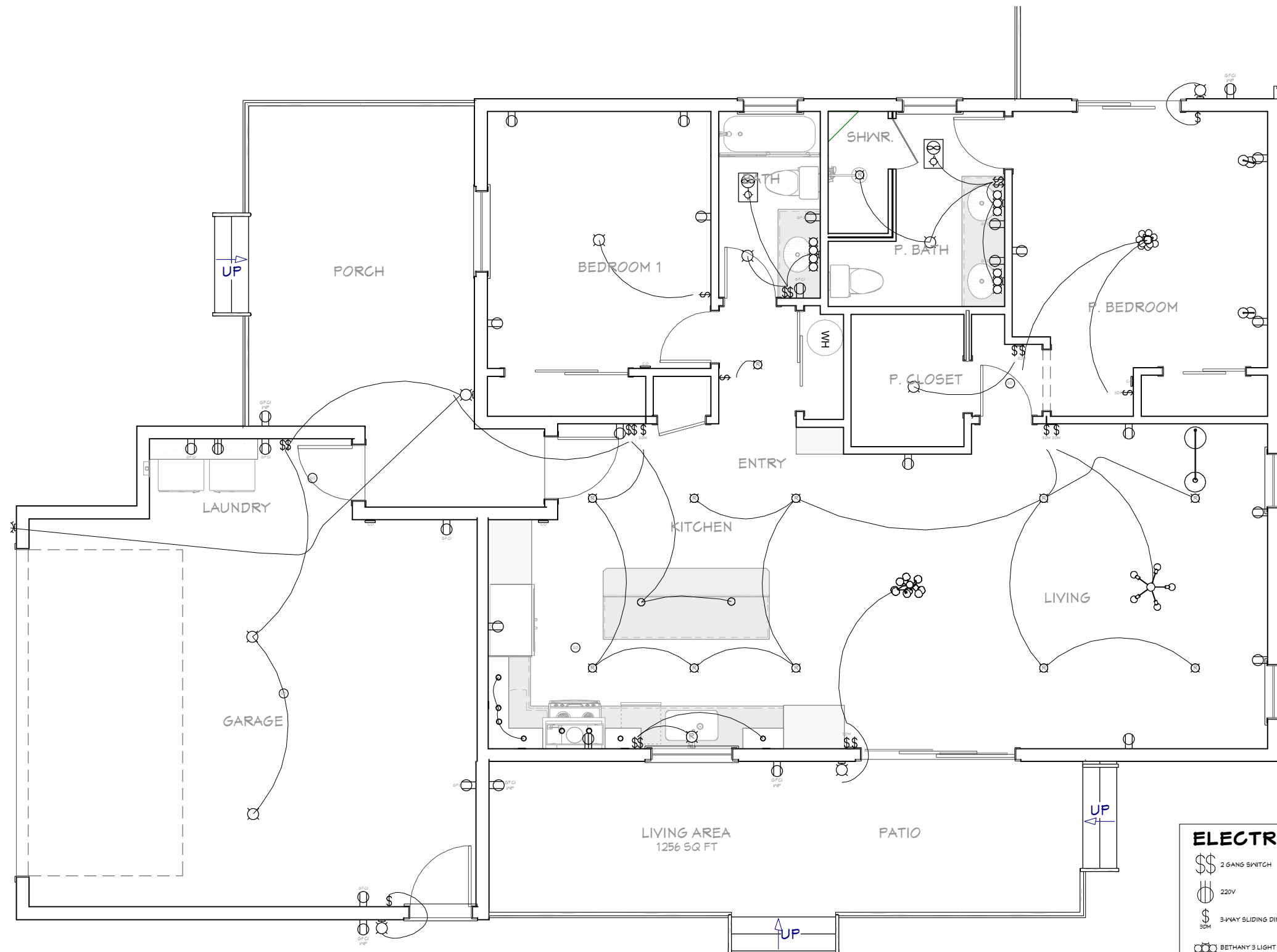
- All plumbing fixtures, finish materials, and equipment selections shall be coordinated with approved schedules and designer selections.
- Verify all plumbing fixture dimensions, rough-in requirements, and clearances prior to installation.
- Contractor shall provide plumbing, electrical, and mechanical connections required to accommodate proposed construction.
- Install all fixtures, finishes, and equipment in accordance with manufacturer requirements and applicable code requirements.
- Coordinate tile, stone, paint, and finish selections with approved material schedules and designer specifications.
- Contractor shall verify finish colors, material transitions, and product selections prior to ordering and installation.

CABINET SCHEDULE

NUMBER	LABEL	QTY	ROOM NAME	WIDTH	DEPTH	HEIGHT	DESCRIPTION
C01	4DB18	1	KITCHEN	18"	24"	36"	BASE CABINET
C02	B12L	1	KITCHEN	12"	24"	36"	BASE CABINET
C03	B12R	2	BATH	12"	24"	36"	BASE CABINET
C04	B16R	1	P. BATH	16"	24"	36"	BASE CABINET
C05	B18L	1	KITCHEN	18"	24"	36"	BASE CABINET
C06	B18R	1	KITCHEN	18"	24"	36"	BASE CABINET
C07	B48	2	KITCHEN	48"	24"	36"	BASE CABINET
C08	LSB36R	1	KITCHEN	36"	36"	36"	CORNER BASE CABINET
C09	LSWB25224R	1	KITCHEN	32 3/16"	24"	52"	CORNER WALL CABINET
C10	SB27	1	BATH	27"	24"	36"	BASE CABINET
C11	SB30	2	P. BATH	30"	24"	36"	BASE CABINET
C12	SB36	1	KITCHEN	36"	24"	36"	BASE CABINET
C13	U2716105	1	ENTRY	27"	16"	104 11/16"	UTILITY CABINET
C14	UF116105	1	ENTRY	1"	16"	104 11/16"	UTILITY CABINET FILLER
C15	U3624106	1	KITCHEN	36"	24"	106"	UTILITY CABINET
C16	UF224106	1	KITCHEN	2 1/16"	24"	106"	UTILITY CABINET FILLER
C17	W3048	2	LAUNDRY	30"	12"	48"	WALL CABINET
C18	W422224	1	KITCHEN	42"	24"	22"	WALL CABINET
C19	W3052	1	KITCHEN	30"	12"	52"	WALL CABINET
C20	W2452L	1	KITCHEN	24"	12"	52"	WALL CABINET
C21	U3626106	1	KITCHEN	36"	25 1/2"	106"	UTILITY CABINET
C22	W2152L	1	KITCHEN	21"	12"	52"	WALL CABINET

SCHEDULES





GENERAL ELECTRICAL PLAN NOTES

- 1 All electrical work shall comply with applicable California Electrical Code and local jurisdiction requirements.
- 2 Verify all existing circuits, devices, and electrical conditions prior to construction.
- 3 Provide GFCI protection at receptacles in kitchens, bathrooms, garages, laundry areas, exterior locations, and other locations required by code.
- 4 Provide AFCI protection for branch circuits serving habitable spaces as required by applicable code.
- 5 All new receptacles shall be tamper-resistant unless otherwise noted.
- 6 Install smoke detectors and carbon monoxide alarms per applicable code requirements, interconnected and hardwired with battery backup.
- 7 All lighting fixtures shall comply with current Title 24 energy requirements.
- 8 Coordinate outlet, switch, and fixture locations with cabinetry, appliances, plumbing fixtures, and finish conditions.
- 9 Verify exact field locations of electrical devices and coordinate with other trades prior to installation.
- 10 Provide dedicated circuits for major appliances and equipment in accordance with manufacturer requirements.
- 11 Recessed lighting shall be IC-rated and airtight where required.
- 12 Exterior electrical devices shall be weather-resistant and installed in approved weatherproof enclosures.

ELECTRICAL LEGEND

⌘	2 GANG SWITCH	⊙	CONTEMPORARY FLUSH	⊙	PLUCK
⊕	220V	⊕	DUPLEX	⊙	RECESSED DOWN LIGHT 4
⌘	3-WAY SLIDING DIMMER	⊕	EXHAUST FAN 01	⊙	RECESSED DOWN LIGHT 6
⊕	BETHANY 3 LIGHT VANITY	⊕	GFCI	⌘	SINGLE POLE SWITCH
⊕	BETHANY 4 LIGHT VANITY	⊕	GFCI WP	⊙	SMOKE DETECTOR 1
⊕	BUBBLE CHANDELIER	⊕	GLOBE TABLE LAMP 1	⊕	CATALINA LIGHTING ARCHED FLOOR LAMP
⊕	CO2 SENSOR	⊕	HEADINGLEY SCORCE EXTERIOR	⊕	OSBORNE 2 LIGHT MINI PENDANT
⊕	CONTEMPORARY CHANDELIER	⊕	MOLECULE CHANDELIER		

ELECTRICAL PLAN
3/8"=1'

ELECTRICAL PLAN

