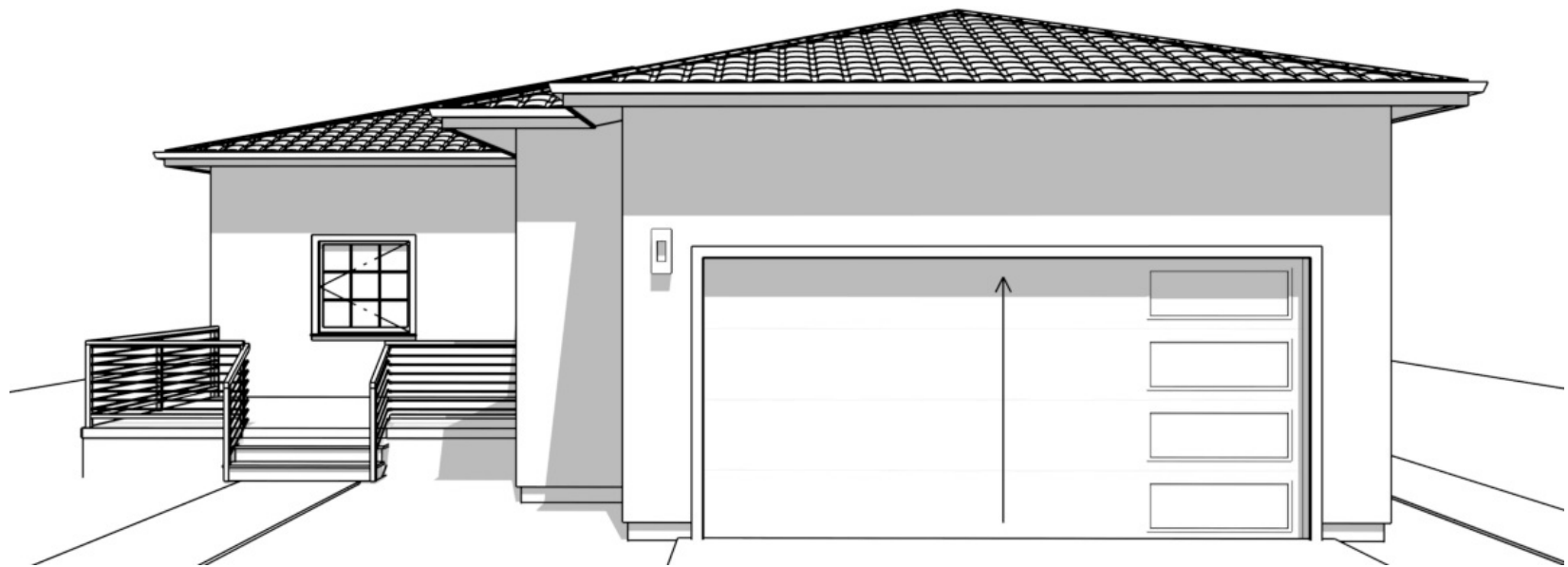




Rendered Exterior

PROJECT SCOPE

The Lopez Residence Remodel consists of the reconfiguration and renovation of select interior spaces within the existing residence, including modifications to the kitchen, primary suite, hallway, laundry, and garage access areas. The proposed design improves circulation, storage, and functionality while maintaining the existing building footprint. Scope of work includes reconfiguration of the kitchen, renovation and expansion of the primary suite, relocation of the laundry to the garage, removal of the existing gas fireplace and installation of a new electric fireplace, addition of new bedroom and bathroom windows, creation of a new exterior garage access connection, replacement of the existing garage door, and associated exterior improvements. The project includes architectural, electrical, plumbing, cabinetry, finish, and fixture modifications required to support the proposed improvements. No load-bearing walls are proposed to be removed unless otherwise noted.

GENERAL NOTES

- 1 Contractor shall verify all existing conditions and dimensions prior to construction.
- 2 Do not scale drawings. Use written dimensions only.
- 3 All work shall comply with applicable codes and local jurisdiction requirements.
- 4 All materials and products shall be installed per manufacturer's recommendations.
- 5 Notify designer of any discrepancies prior to proceeding with construction.
- 6 Coordinate all architectural, structural, mechanical, electrical, and plumbing work.
- 7 Protect existing construction and finishes designated to remain.
- 8 Field verify all utility locations prior to demolition or construction.

SHEET INDEX

COVER	1
EXISTING/DEMO PLAN	2
FLOOR PLAN	3
FURNITURE PLAN	4
EXTERIOR ELEVATIONS 1	5
EXTERIOR ELEVATIONS 2	6
SECTIONS 1	7
SECTIONS 2	8
KITCHEN ELEVATIONS	9
BATHROOM ELEVATIONS	10
SCHEDULES	11
ELECTRICAL PLAN	12

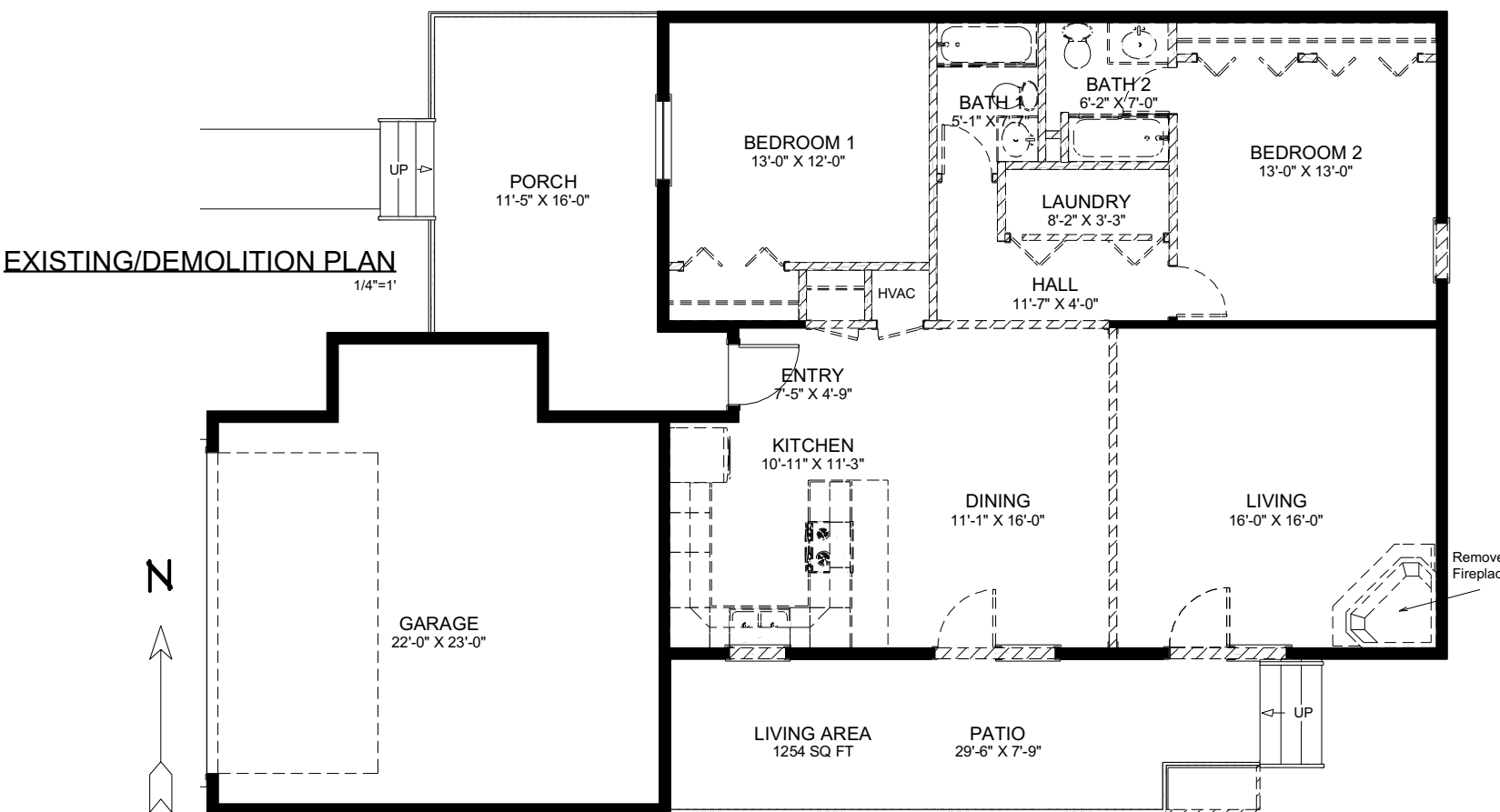
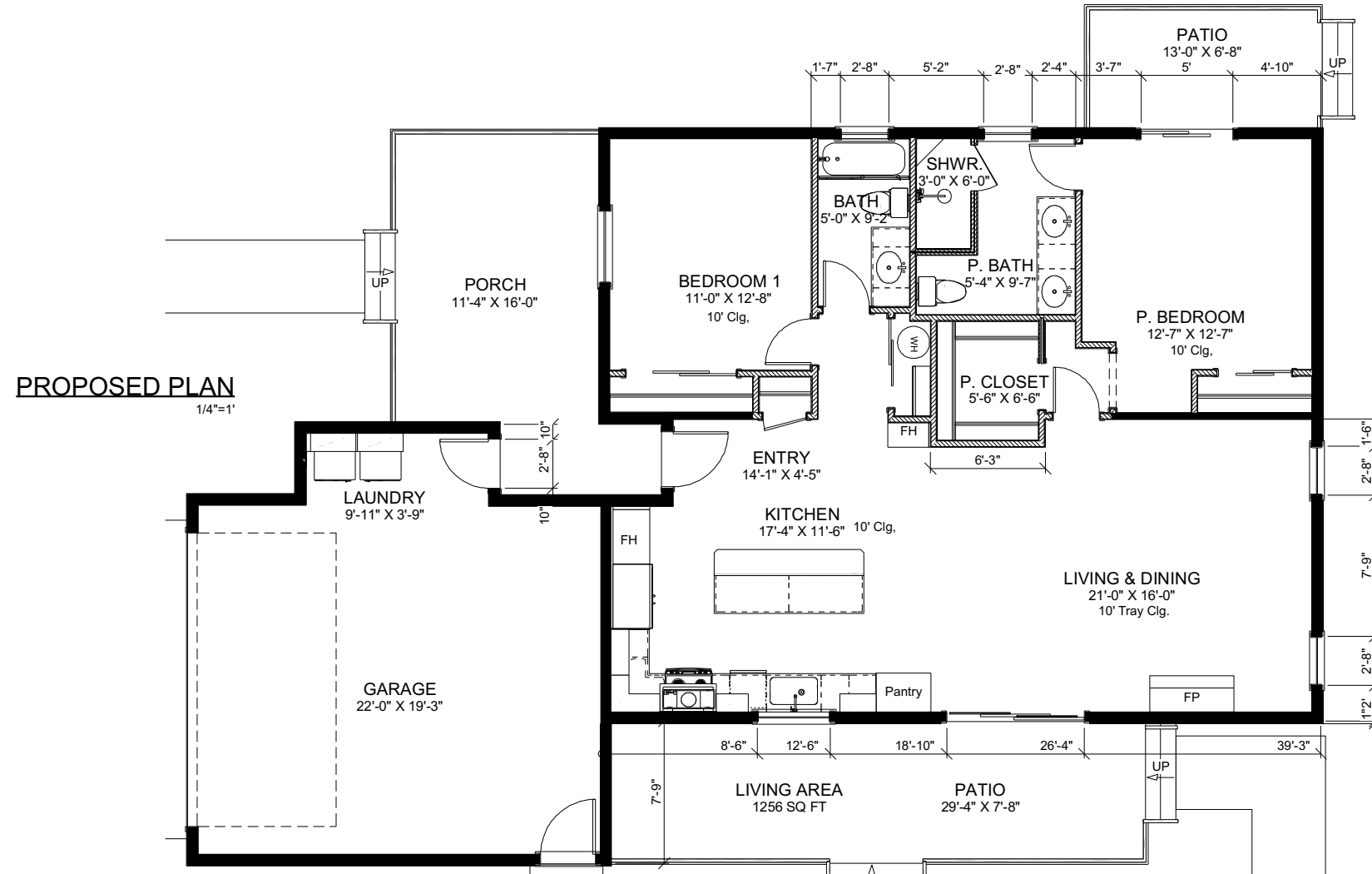
PROJECT DATA

Project: Lopez Residence Remodel
Location: 1214 Harrington Way, San Francisco, CA 95802
Occupancy Group: R-3
Construction Type: Type V-B (Verify Existing)
Scope of Work: Interior Residential Remodel
Stories: Existing Single-Story Residence
Automatic Fire Sprinklers: Existing / Not Applicable (verify)
Building Area: Existing, No Change

APPLICABLE CODES

- 2022 California Residential Code (CRC)
- 2022 California Building Code (CBC), as applicable
- 2022 California Electrical Code (CEC)
- 2022 California Mechanical Code (CMC)
- 2022 California Plumbing Code (CPC)
- 2022 California Energy Code (Title 24, Part 6)
- 2022 California Green Building Standards Code (CALGreen)





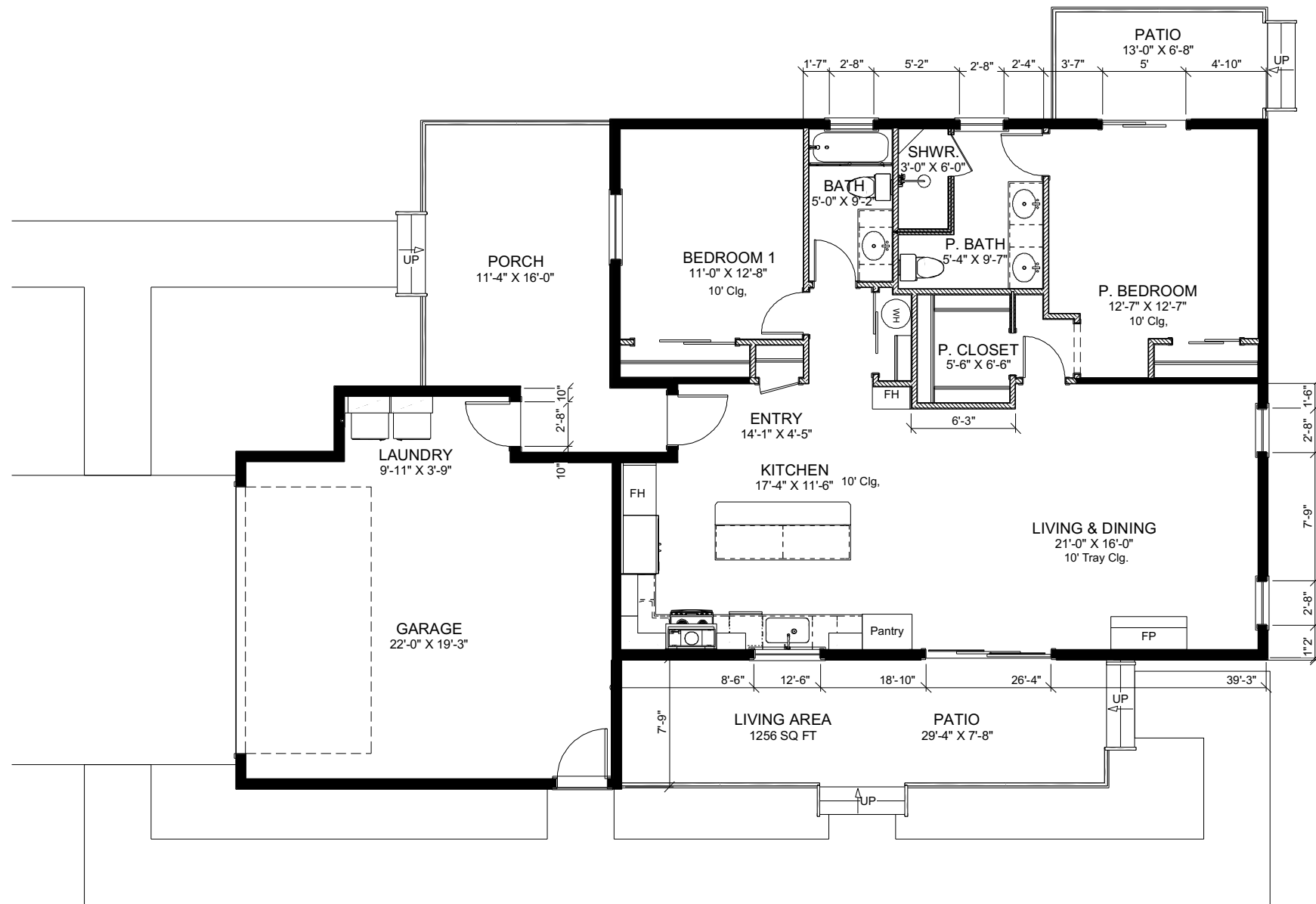
EXISTING/DEMO PLAN NOTES

- 1 Verify all existing conditions prior to demolition. Notify Architect of discrepancies before proceeding with work.
- 2 Remove walls, fixtures, finishes, and equipment as indicated on drawings unless noted otherwise to remain.
- 3 Protect all existing construction and adjacent surfaces to remain throughout demolition and construction activities.
- 4 Coordinate demolition work with structural, mechanical, electrical, and plumbing requirements.
- 5 Cap, remove, or reroute utilities as required to accommodate proposed construction.
- 6 Patch and repair adjacent surfaces affected by demolition to receive new construction and finishes.
- 7 Verify location of concealed utilities and existing conditions prior to cutting or removal operations.
- 8 Do not remove load-bearing elements unless properly coordinated and supported as required.

WALL LEGEND

	Interior Railing
	Interior-4
	Exterior-6
	Demo Wall/Fixture
	New Wall
	Existing Wall to Remain

EXISTING/DEMO PLAN



PROPOSED PLAN
1/4"=1'

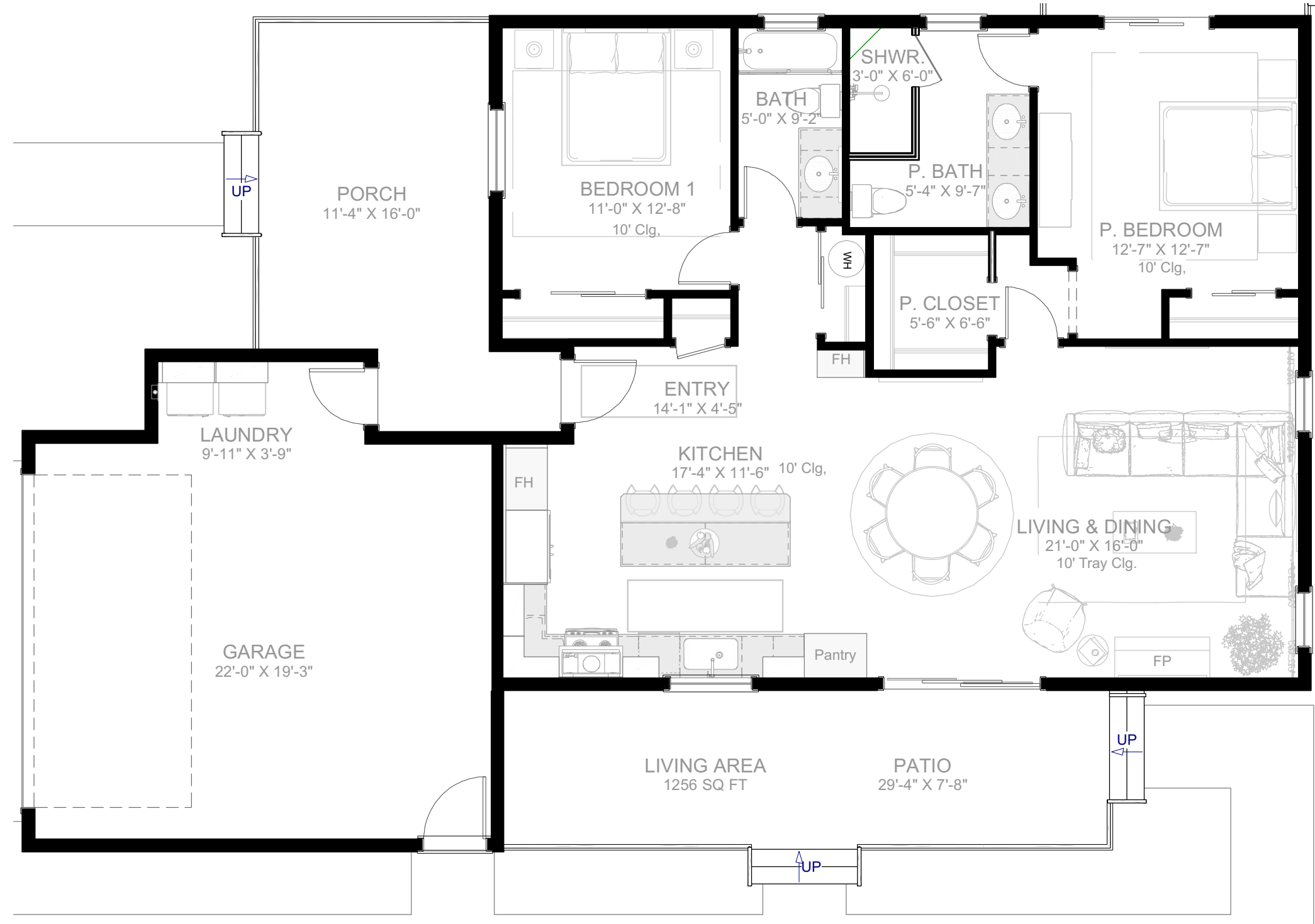


GENERAL FLOOR PLAN NOTES

- 1 All dimensions are to face of stud, face of masonry, or centerline of openings unless otherwise noted.
- 2 Do not scale drawings. Use written dimensions only. Contractor shall field verify all dimensions and existing conditions prior to construction.
- 3 Coordinate architectural drawings with structural, mechanical, electrical, and plumbing requirements.
- 4 All work shall comply with applicable California Residential Code (CRC), California Energy Code (Title 24), and local jurisdiction requirements.
- 5 All materials and workmanship shall conform to accepted industry standards and manufacturer installation requirements.
- 6 Provide blocking as required for wall-mounted fixtures, cabinetry, accessories, and equipment.
- 7 Verify all door and window sizes and locations prior to fabrication and installation. Refer to schedules for additional information.
- 8 Maintain required code clearances and egress paths throughout construction.
- 9 Install smoke and carbon monoxide detectors per applicable code requirements.
- 10 Coordinate finish transitions at floor, wall, and ceiling conditions. Match adjacent finishes unless otherwise noted.
- 11 Provide access panels where required for concealed valves, cleanouts, or equipment requiring service access.
- 12 Refer to enlarged plans, interior elevations, sections, and details for additional information not shown on floor plan drawings.

FLOOR PLAN





FURNITURE PLAN
3/8"=1'

FURNITURE PLAN



Dufour Design
1700 El Camino Real S San Francisco, CA. 94080
415-916-2968
dufour-design.com

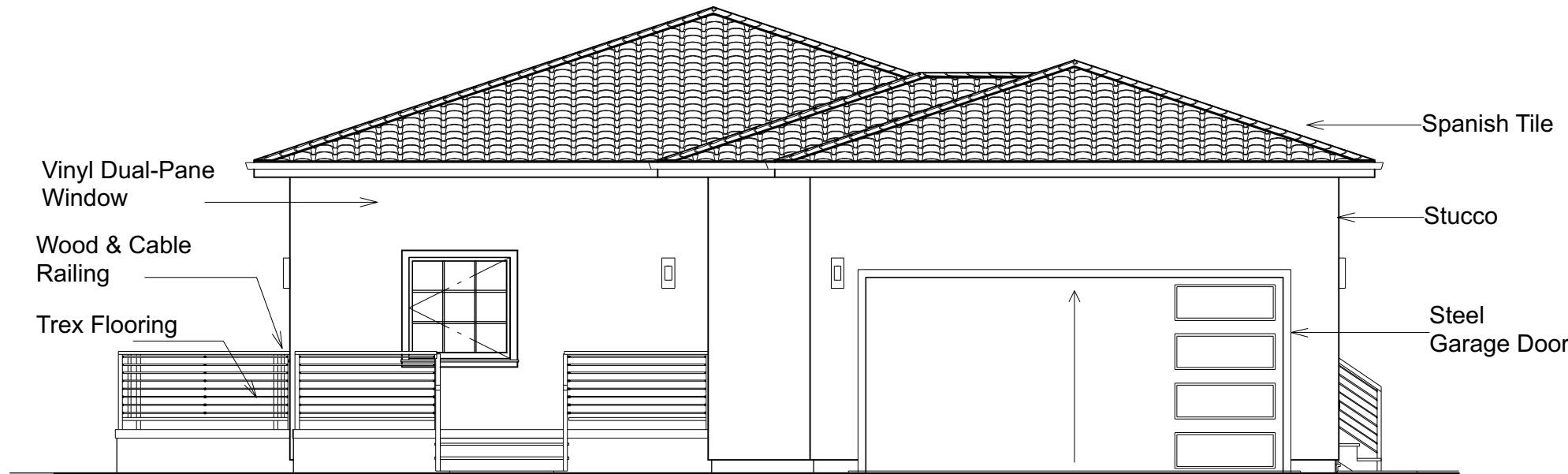
1214 Harrington Way
San Francisco, CA 95802
Lopez Property

FURNITURE PLAN

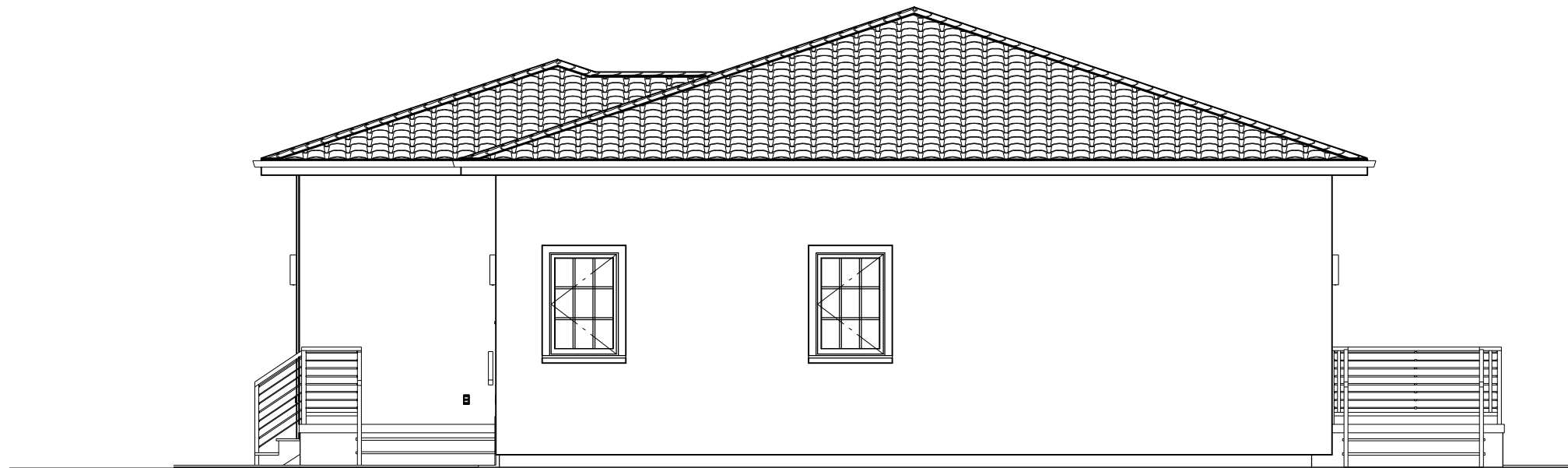
SCALE 24" X 36"
DATE:
2023
DRAWN BY:
A. Dufour

SHEET NUMBER

4



WEST EXTERIOR FRONT ELEVATION
1/4"=1'



EAST EXTERIOR BACK ELEVATION
1/4"=1'

GENERAL EXTERIOR ELEVATION NOTES

- 1 All exterior finishes and materials shall match approved selections, finish schedules, and material legends unless otherwise noted.
- 2 Verify all exterior dimensions, openings, and finish conditions prior to fabrication and installation.
- 3 Install exterior finishes, trim, flashing, and weatherproofing in accordance with manufacturer requirements and applicable codes.
- 4 Seal and flash all exterior penetrations to maintain weather-resistant construction.
- 5 Coordinate roof slopes, overhangs, trim alignments, and exterior finish transitions with architectural drawings and existing conditions.
- 6 All exterior doors and windows shall comply with applicable Title 24 energy requirements.
- 7 Coordinate exterior elevations with floor plans, sections, and details. Notify Architect of discrepancies prior to construction.
- 8 Paint exposed vents, louvers, utility boxes, and similar elements to match adjacent surfaces unless otherwise noted.



EXTERIOR
ELEVATIONS 1

1214 Harrington Way
San Francisco, CA 95802

Lopez Property

**EXTERIOR
ELEVATIONS 1**

SCALE 24" X 36"

DATE:

2023

DRAWN BY:

A. Dufour

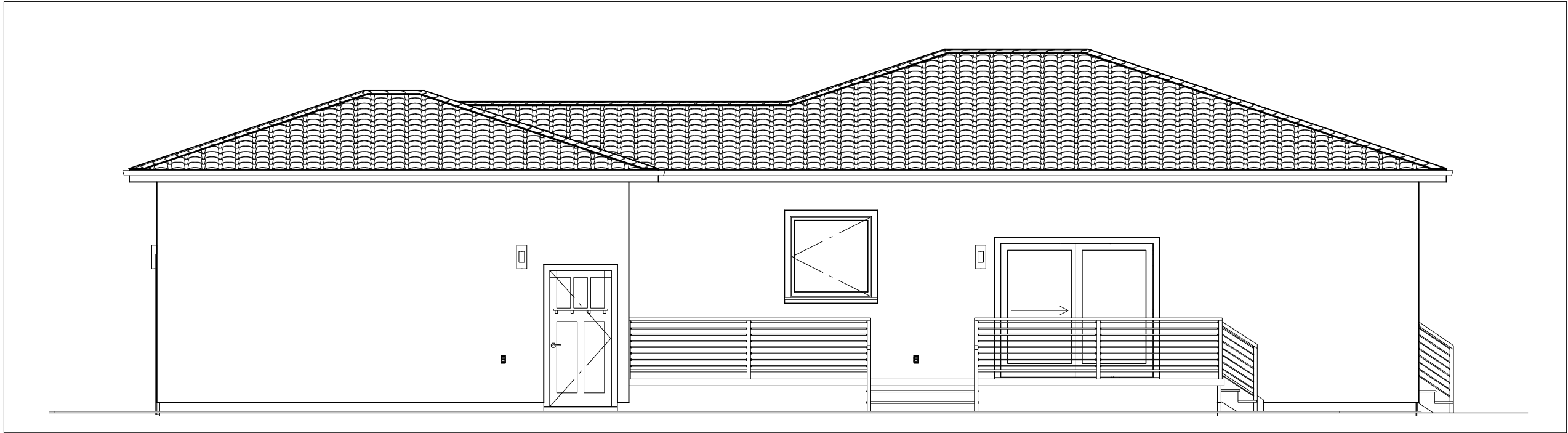
SHEET NUMBER

5

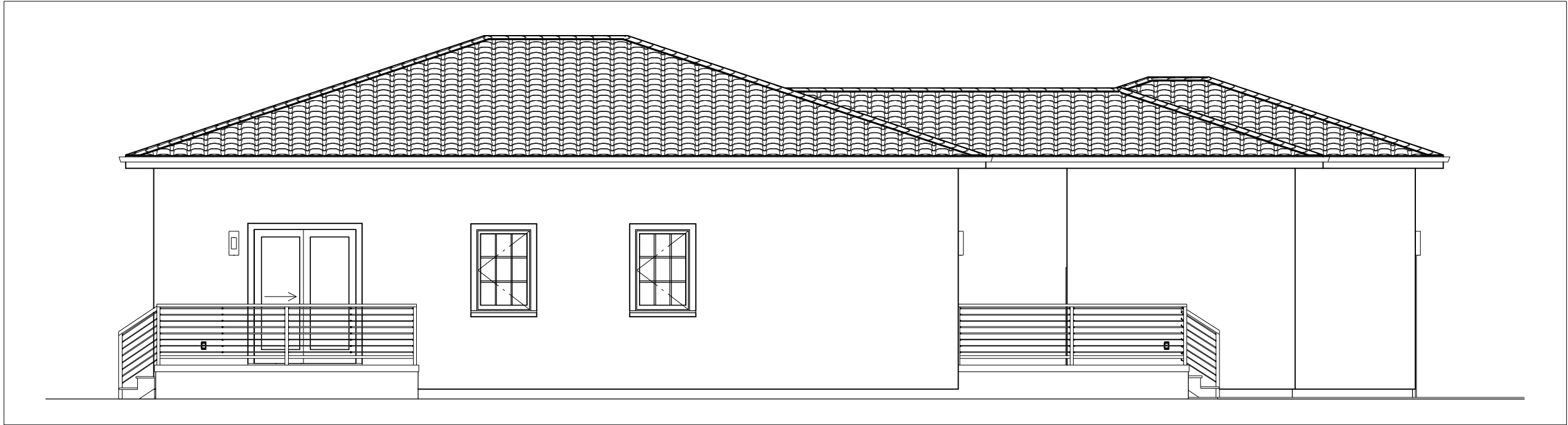
Dufour Design

1700 El Camino Real S San Francisco, CA. 94080
415-916-2968
dufour-design.com





SOUTH EXTERIOR SIDE ELEVATION
1/4"=1'



NORTH EXTERIOR SIDE ELEVATION
1/4"=1'



EXTERIOR
ELEVATIONS 2



Dufour Design
1700 El Camino Real S San Francisco, CA. 94080
415-916-2968
dufour-design.com

1214 Harrington Way
San Francisco, CA 95802
Lopez Property

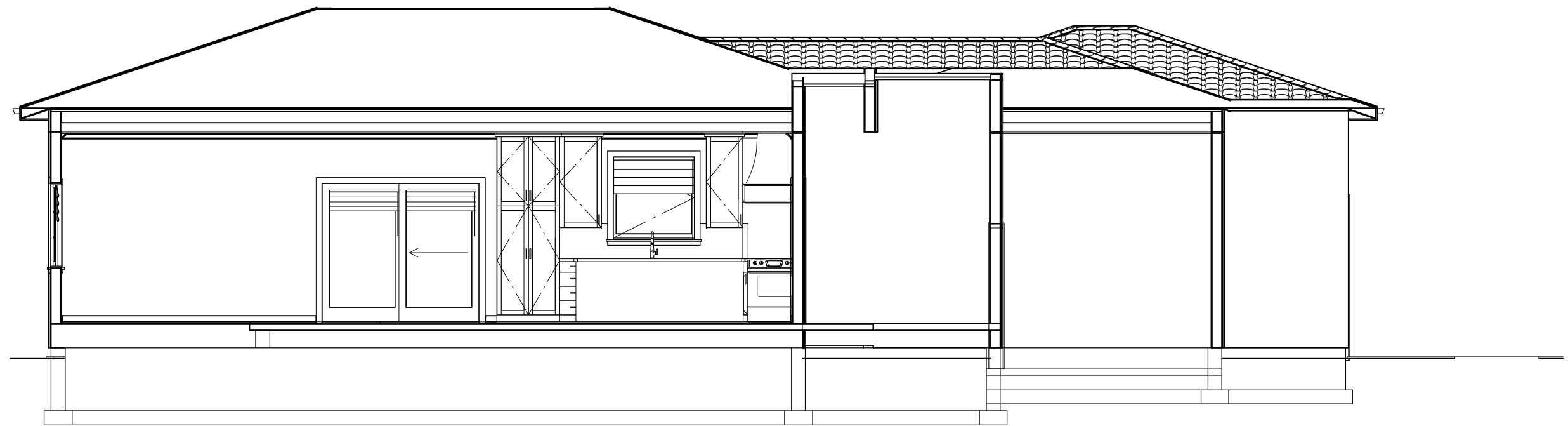
**EXTERIOR
ELEVATIONS 2**

SCALE 24" X 36"

DATE:
2023
DRAWN BY:
A. Dufour

SHEET NUMBER

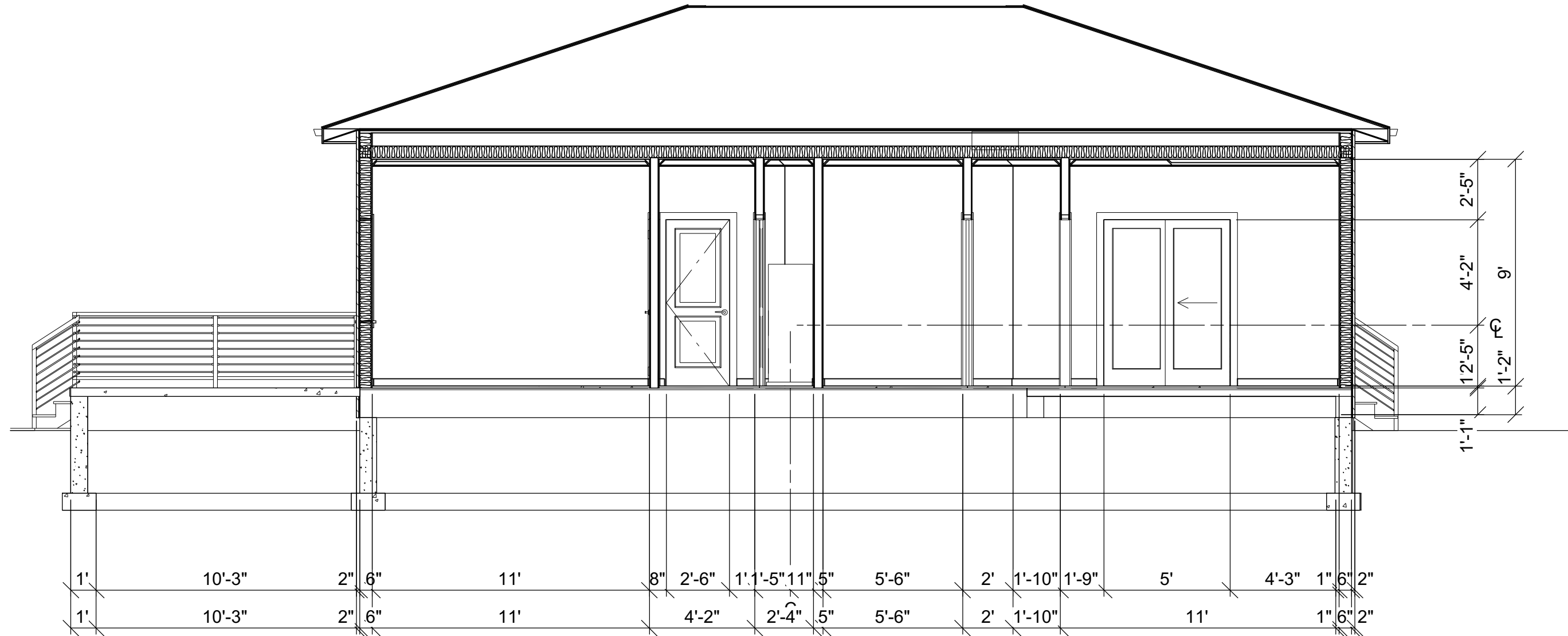
6



S3 SOUTH KITCHEN/LIVING/GARAGE SECTION
3/8"=1'

INTERIOR SECTIONS NOTES

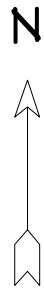
- 1 Coordinate wall, ceiling, and soffit conditions with architectural, mechanical, electrical, and plumbing requirements.
- 2 Verify ceiling heights, framing conditions, and finish transitions prior to construction.
- 3 Provide blocking as required for wall-mounted fixtures, cabinetry, accessories, and hardware.
- 4 Provide moisture-resistant backing materials at all wet areas in accordance with applicable code and manufacturer requirements.
- 5 Coordinate interior finish transitions and alignments with adjacent materials and construction.
- 6 Provide sound insulation at bathroom walls and other locations where indicated or required.
- 7 Maintain required fireblocking and draftstopping within concealed framing cavities per applicable code requirements.
- 8 Refer to floor plans, interior elevations, finish schedules, and details for additional information and material coordination.



S3 SOUTH BEDROOM/BATHROOM SECTION
1/2"=1'

INTERIOR SECTIONS NOTES

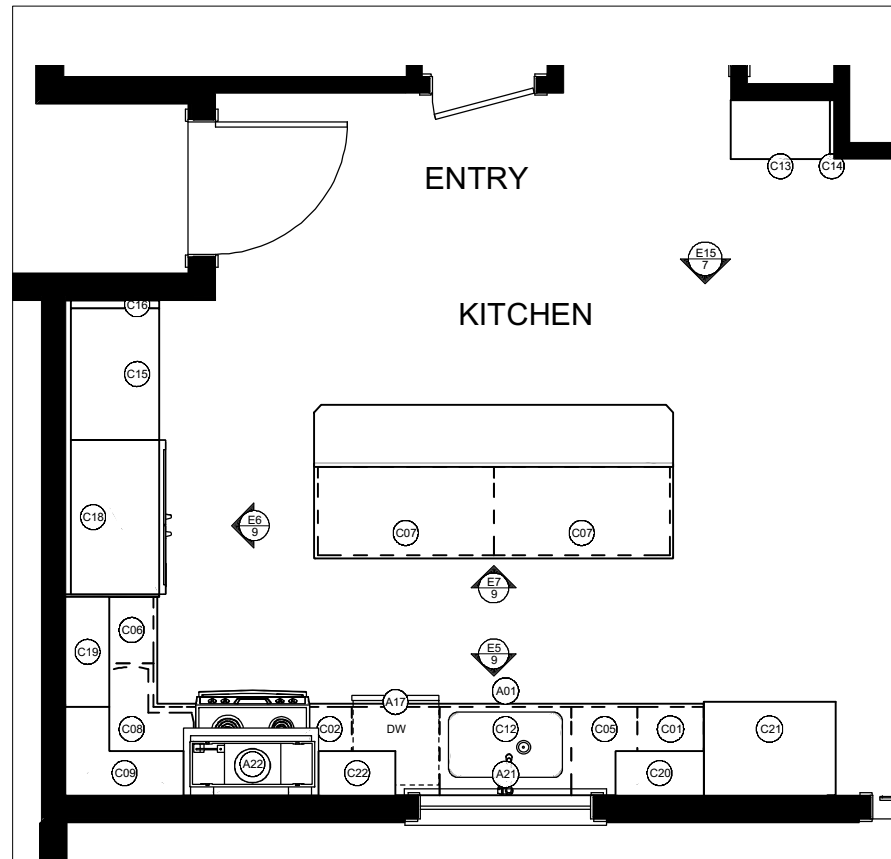
- 1 Verify all existing framing, ceiling heights, and soffit conditions prior to construction.
- 2 Coordinate interior framing, soffits, lighting, ductwork, and plumbing requirements with architectural drawings.
- 3 Provide blocking as required for cabinetry, accessories, fixtures, and wall-mounted equipment.
- 4 Provide moisture-resistant backing materials at wet areas in accordance with applicable code and manufacturer requirements.
- 5 Coordinate finish transitions between adjacent materials for clean and continuous alignment.
- 6 Provide sound insulation at bathroom and bedroom partitions where applicable.
- 7 Maintain required fireblocking and draftstopping within concealed framing cavities per applicable code requirements.
- 8 Refer to floor plans, interior elevations, finish schedules, and details for additional coordination and material information.



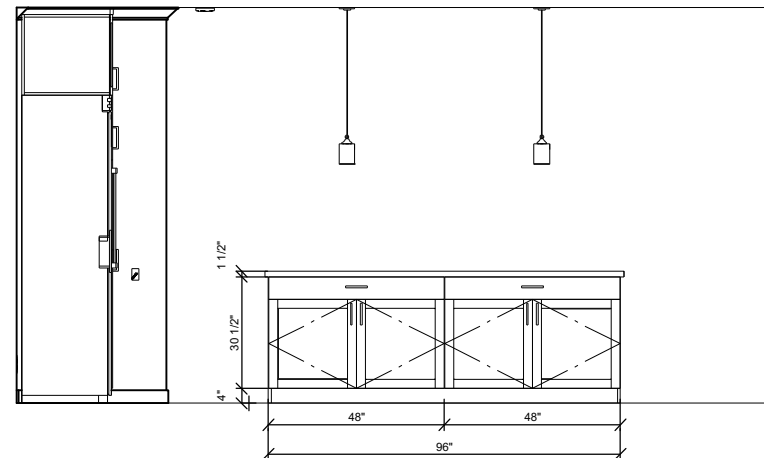


KITCHEN ELEVATION NOTES

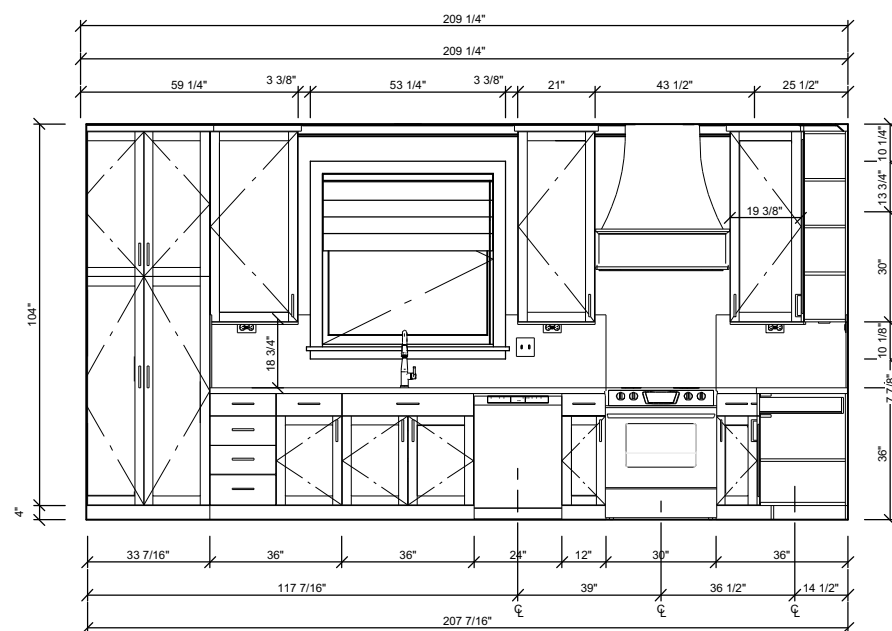
- 1 Verify all appliance dimensions, cabinet clearances, and rough opening requirements prior to fabrication and installation.
- 2 Install cabinetry level, plumb, and securely anchored in accordance with manufacturer requirements.
- 3 Provide blocking as required for wall-mounted cabinetry, shelving, hood assemblies, and accessories.
- 4 Coordinate cabinet openings, appliance clearances, plumbing fixtures, and electrical requirements with approved layouts and schedules.
- 5 Install backsplash and wall finishes in accordance with finish schedule and material specifications.
- 6 Provide GFCI-protected receptacles at countertop locations per applicable electrical code requirements.
- 7 Vent hood exhaust to exterior in accordance with manufacturer requirements and applicable code.
- 8 Coordinate cabinet, soffit, trim, and finish alignments for clean transitions at adjacent walls and ceiling conditions.
- 9 Verify finish selections, edge profiles, and material transitions prior to installation.



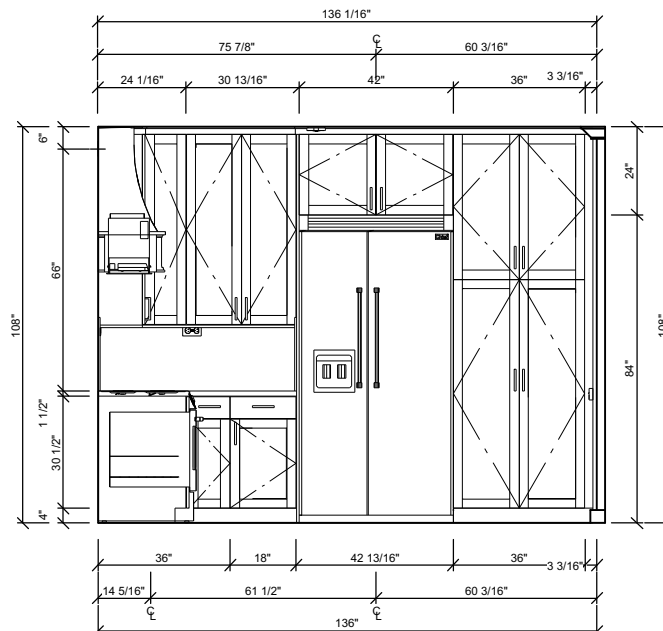
KITCHEN PLAN
1/2"=1'



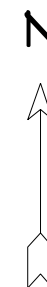
E7 SOUTH ISLAND ELEVATION
1/2"=1'

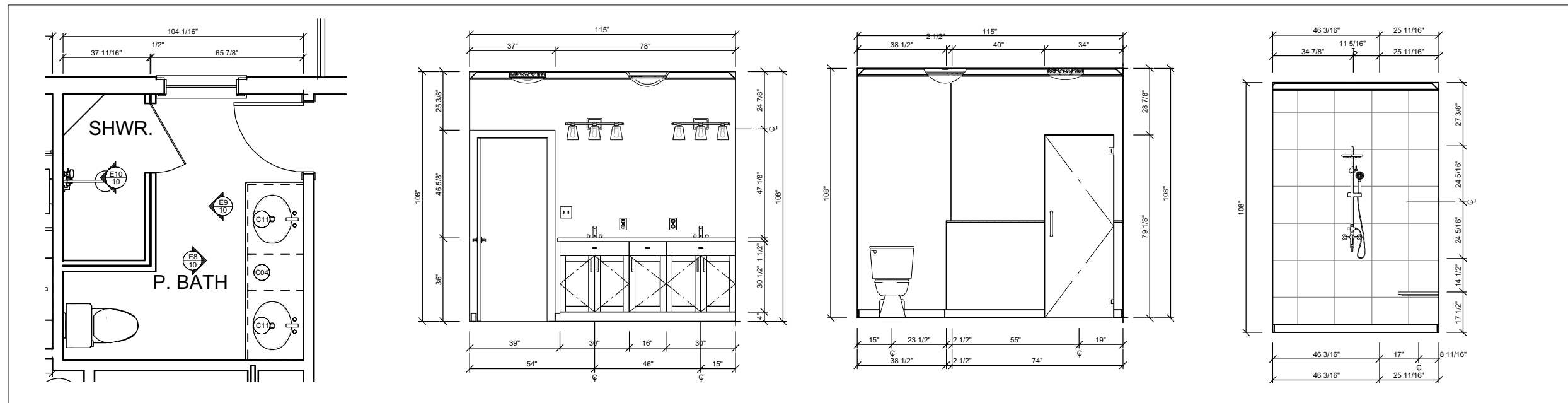


E5 SOUTH WALL ELEVATION
1/2"=1'



E6 WEST WALL ELEVATION
1/2"=1'



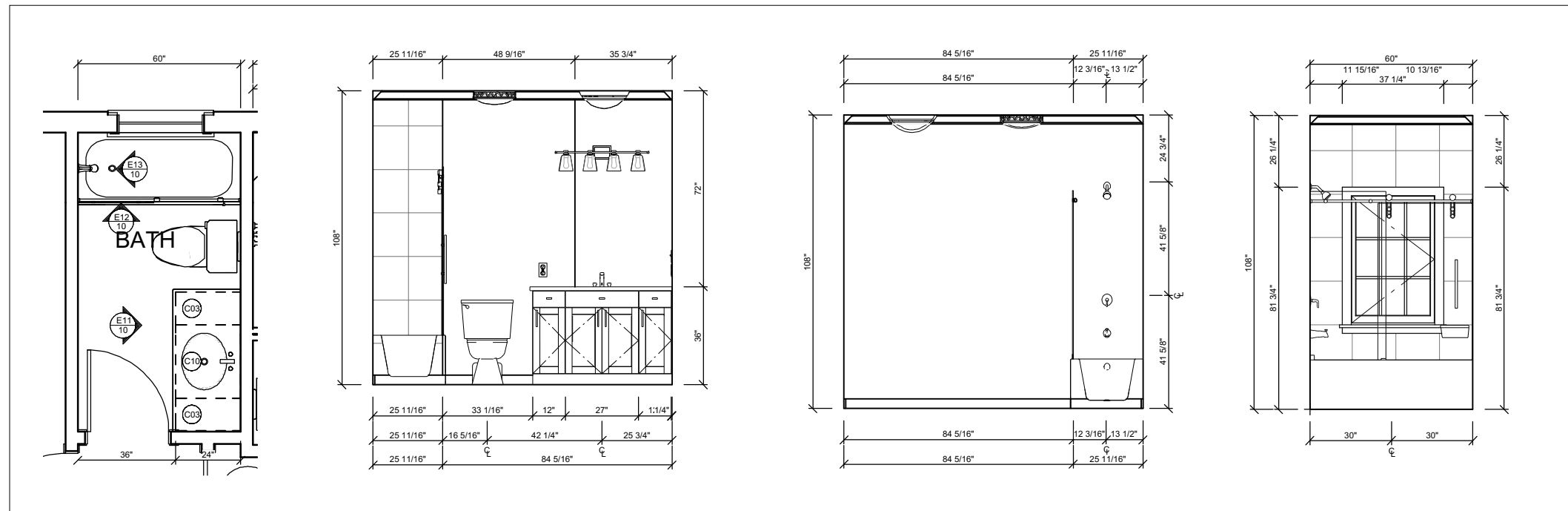


**PRIMARY BATHROOM
PLAN & ELEVATIONS**
1/2" = 1'

E8 EAST ELEVATION
1/2"=1'

E9 WEST ELEVATION
1/2"=1'

E10 WEST SHOWER ELEVATION
1/2"=1'



**SECONDARY BATHROOM
PLAN & ELEVATIONS**
1/2" = 1'

E11 EAST ELEVATION
1/2"=1'

E12 WEST ELEVATION
1/2"=1'

E13 NORTH ELEVATION
1/2"=1'

BATHROOM ELEVATION NOTES

- 1 Verify all fixture locations, dimensions, and rough-in requirements prior to installation.
- 2 Coordinate plumbing fixtures, cabinetry, accessories, and electrical devices with approved layouts and elevations.
- 3 Provide moisture-resistant backing materials at all wet areas in accordance with applicable code and manufacturer requirements.
- 4 Install tile, wall finishes, and trim for clean alignment and transitions at adjacent materials and edges.
- 5 Install vanities, mirrors, and accessories level, plumb, and securely anchored to wall framing.
- 6 Provide GFCI-protected receptacles adjacent to lavatories per applicable electrical code requirements.
- 7 Provide blocking as required for wall-mounted accessories, fixtures, and grab bars.
- 8 Verify shower and plumbing fixture mounting heights and alignment prior to installation.
- 9 Coordinate lighting fixture placement with mirrors, cabinetry, and adjacent finish conditions.

BATHROOM PLANS
& ELEVATIONS



Dufour Design
1700 El Camino Real S San Francisco, CA. 94080
415-916-2968
dufour-design.com

1214 Harrington Way
San Francisco, CA 95802
Lopez Property

**BATHROOM
ELEVATIONS**

SCALE 24" X 36"
DATE:
2023
DRAWN BY:
A. Dufour

SHEET NUMBER

10

DOOR AND WINDOW SCHEDULE

NUMBER	LABEL	QTY	ROOM NAME	SIZE	R/O	DESCRIPTION	HEADER
D01	2468	1	UNSPECIFIED/ENTRY	2468 L IN	29 13/16"X82 1/2"	HINGED-DOOR P04	2"X6"X32 13/16" (2)
D02	2668	1	P. BATH/SHWR.	2668 L	30"X80"	SHOWER-GLASS SLAB	
D03	2668	1	BEDROOM 1/LIVING	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)
D04	2668	1	P. CLOSET/BEDROOM 2	2668 R	61 1/4"X82 1/2"	POCKET-DOOR P04	2"X6"X64 1/4" (2)
D05	2668	1	P. BATH/P. BEDROOM	2668 R IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)
D06	2868	1	BREEZEWAY/LAUNDRY	2868 R EX	34"X83"	EXT. HINGED-DOOR E21	2"X6"X37" (2)
D07	3068	1	GARAGE	3068 R EX	38"X83"	EXT. HINGED-DOOR E21	2"X6"X41" (2)
D08	4068	1	P. BEDROOM/BEDROOM 2	4068 R IN	50"X82 1/2"	SLIDER-DOOR P04	2"X8"X53" (2)
D09	41068	1	CLOSET/LIVING	41068 R IN	60"X82 1/2"	SLIDER-DOOR P04	2"X8"X63" (2)
D10	5068	1	P. BEDROOM/PATIO	5068 L EX	62"X83"	EXT. SLIDER-GLASS PANEL	2"X8"X65" (2)
D11	6068	1	BEDROOM 1/UNSPECIFIED	6068 L IN	74"X82 1/2"	SLIDER-DOOR P04	2"X8"X77" (2)
D12	7668	1	LIVING & DINING/PATIO	7668 L EX	92"X83"	EXT. SLIDER-GLASS PANEL	2"X10"X95" (2)
D13	2840SC	1	BATH	2840SC	33"X49"	SINGLE CASEMENT-HL	2"X6"X36" (2)
D14	4040SC	1	BEDROOM 1/PORCH	4040SC	49"X49"	SINGLE CASEMENT-HL	2"X8"X52" (2)
D15	2668	1	BEDROOM 2/LIVING & DINING	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)
D16	2668	1	LIVING/BATH	2668 L IN	32"X82 1/2"	HINGED-DOOR P04	2"X6"X35" (2)
D17	2840SC	2	LIVING & DINING	2840SC	33"X49"	SINGLE CASEMENT-HL	2"X6"X36" (2)
D18	2840SC	1	P. BATH	2840SC	33"X49"	SINGLE CASEMENT-HL	2"X6"X36" (2)
D19	4040SC	1	KITCHEN/PATIO	4040SC	49"X49"	SINGLE CASEMENT-HL	2"X8"X52" (2)

PLUMBING FIXTURE SCHEDULE

NUMBER	LABEL	QTY	ROOM NAME	WIDTH	DEPTH	HEIGHT
A01	SINGLE BASIN UNDERMOUNT SINK WIDE [31 9/16W]	1	KITCHEN	31 9/16"	18 1/2"	11 9/16"
A02	ELECTRIC RANGE - INTEGRATED [31W]	1	KITCHEN	31"	28 5/8"	36 1/16"
A03	ELONGATED TOILET	1	BATH	19 3/16"	32 5/8"	31"
A04	FRONT LOADING CLOTHES WASHER	1	LAUNDRY	26 7/8"	28 7/8"	42 11/16"
A05	GLASS FRONT CLOTHES DRYER	1	LAUNDRY	26 7/8"	28 7/8"	42 11/16"
A06	IN-WALL HOT/COLD WATER HOOKUP	1	LAUNDRY	10 1/8"	3 3/4"	8 3/4"
A07	MEDIUM ELECTRIC WATER HEATER	1	CLOSET	24 1/2"	23"	58 1/16"
A08	MINIMAL VASE W BANKSIA	1	LIVING & DINING	8 1/2"	8 13/16"	10 3/8"
A09	MUUTO VASE W AGAPANTHUS	1	KITCHEN	6 7/16"	6 13/16"	10 15/16"
A10	OVAL UNDERMOUNT SINK [20 3/4W]	1	BATH	20 3/4"	19 7/16"	14"
A11	PULLED (TIGHT)	2	LIVING & DINING	40"	1 1/4"	26 3/8"
A12	RH TABLE	1	LIVING & DINING	18 1/16"	18 1/16"	18 3/4"
A14	STACKED BOOKS	1	LIVING & DINING	8"	13"	5"
A15	TUB-SHOWER 5	1	BATH	60"	27"	83 1/4"
A16	EPICUREAN CHIMNEY RANGE HOOD	1	KITCHEN	36 13/16"	18 7/16"	39 5/8"
A17	DW	1	KITCHEN	24"	26 9/16"	33 1/2"
A18	R42"	1	KITCHEN	42"	26"	84"
A19	ELONGATED TOILET	1	P. BATH	19 3/16"	32 5/8"	31"
A20	OVAL UNDERMOUNT SINK [20 3/4W]	2	P. BATH	20 3/4"	19 7/16"	14"
A21	9113T-DST 1-HOLE	1	KITCHEN	4 1/4"	11 1/4"	15 11/16"
A22	HPB3011-4_N	1	KITCHEN	34"	12 7/16"	16 1/4"
A23	SINGLE HANDLE WALL MOUNTED FAUCET	1	SHWR.	10 1/8"	22 7/8"	48 5/8"

FINISH SCHEDULE

ROOM NAME	CEILING HEIGHT	WALL MATERIAL	FLOOR FINISH	CEILING FINISH	BASE MOLDING	CROWN MOLDING	WINDOW CASING	WINDOW SILL	DOOR CASING
BATH	109 1/2"	DRYWALL, WHITE TILE	IVORY TILES, THINSET MORTAR, BACKERBOARD 1/4"	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
BEDROOM 1	109 1/2"	DRYWALL, WHITE TILE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
BEDROOM 2	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
BREEZEWAY		9675 PAINT BOX - 720 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE					STOCK
BREEZEWAY		DRYWALL		DRYWALL, COLOR - WHITE					STOCK
CLOSET	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
ENTRY	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
LAUNDRY	135 5/8"	9675 PAINT BOX - 720 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE					STOCK
GARAGE	135 5/8"	9675 PAINT BOX - 720 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE					STOCK
KITCHEN	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	
LIVING	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
LIVING & DINING	109 1/2"	OC-95 - NAVAJO WHITE, COLOR - WHITE	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
P. BATH	109 1/2"	DRYWALL, GLASS TEMPERED	IVORY TILES, THINSET MORTAR, BACKERBOARD 1/4"	DRYWALL, COLOR - WHITE	STOCK	CM-01	STOCK	STOCK	STOCK
P. BEDROOM	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
P. CLOSET	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK
PATIO		9675 PAINT BOX - 720 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE			STOCK	STOCK	STOCK
PATIO		9675 PAINT BOX - 720 ITALIAN STUCCO		DRYWALL, COLOR - WHITE					STOCK
PORCH		9675 PAINT BOX - 720 ITALIAN STUCCO, DRYWALL		DRYWALL, COLOR - WHITE			STOCK	STOCK	
SHWR.	109 1/2"	GLASS TEMPERED, WHITE TILE	IVORY TILES, THINSET MORTAR, BACKERBOARD 1/4"	DRYWALL, COLOR - WHITE	STOCK	CM-01			
UNSPECIFIED	109 1/2"	DRYWALL	CONCRETE, FOAM UNDERLAYMENT	DRYWALL, COLOR - WHITE	STOCK	CM-01			STOCK

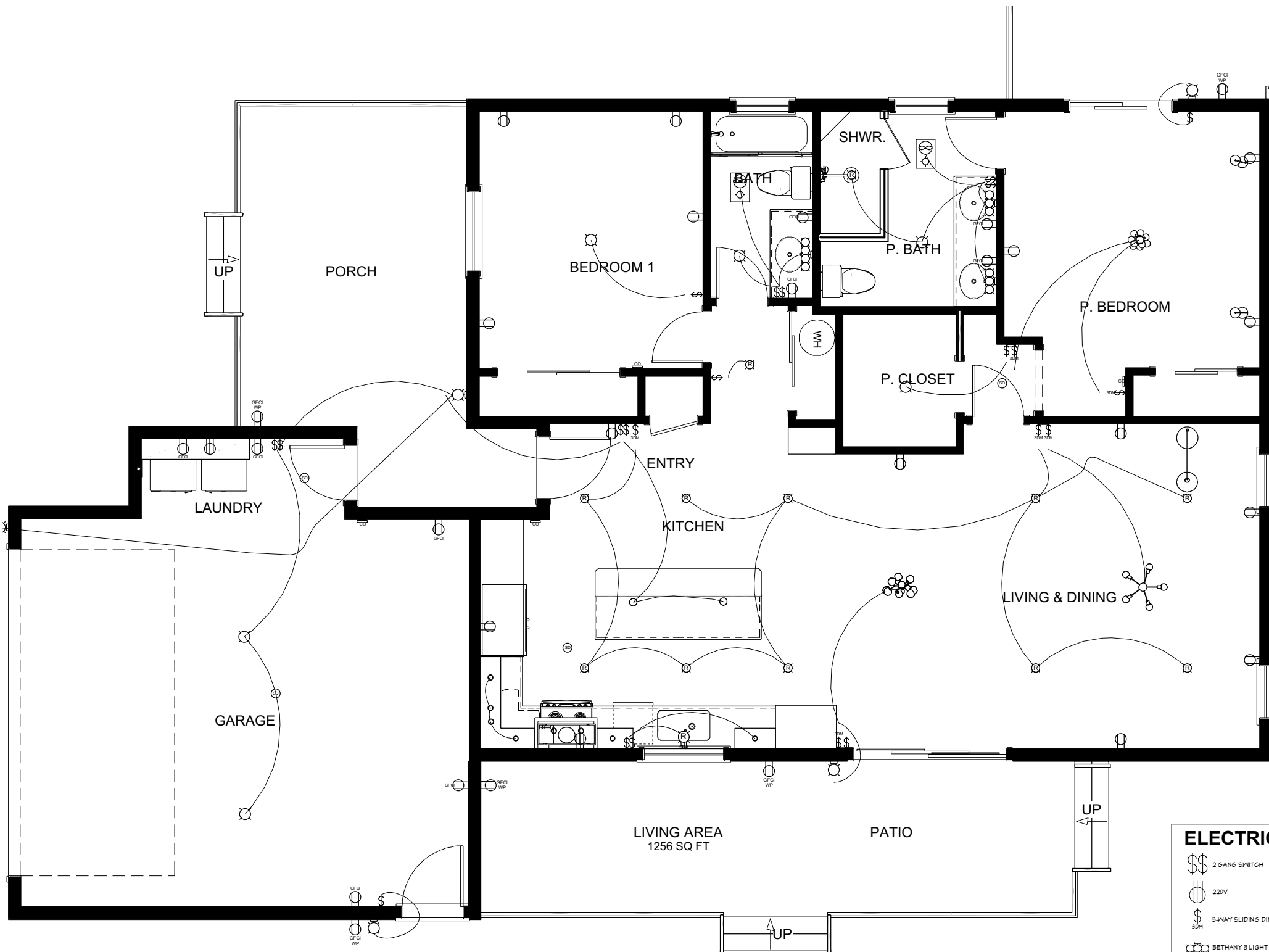
NOTES

- 1 All plumbing fixtures, finish materials, and equipment selections shall be coordinated with approved schedules and designer selections.
- 2 Verify all plumbing fixture dimensions, rough-in requirements, and clearances prior to installation.
- 3 Contractor shall provide plumbing, electrical, and mechanical connections required to accommodate proposed construction.
- 4 Install all fixtures, finishes, and equipment in accordance with manufacturer requirements and applicable code requirements.
- 5 Coordinate tile, stone, paint, and finish selections with approved material schedules and designer specifications.
- 6 Contractor shall verify finish colors, material transitions, and product selections prior to ordering and installation.

CABINET SCHEDULE

NUMBER	LABEL	QTY	ROOM NAME	WIDTH	DEPTH	HEIGHT	DESCRIPTION
C01	4DB18	1	KITCHEN	18"	24"	36"	BASE CABINET
C02	B12L	1	KITCHEN	12"	24"	36"	BASE CABINET
C03	B12R	2	BATH	12"	24"	36"	BASE CABINET
C04	B16R	1	P. BATH	16"	24"	36"	BASE CABINET
C05	B18L	1	KITCHEN	18"	24"	36"	BASE CABINET
C06	B18R	1	KITCHEN	18"	24"	36"	BASE CABINET
C07	B48	2	KITCHEN	48"	24"	36"	BASE CABINET
C08	LSB36R	1	KITCHEN	36"	36"	36"	CORNER BASE CABINET
C09	LSW325224R	1	KITCHEN	32 3/16"	24"	52"	CORNER WALL CABINET
C10	SB27	1	BATH	27"	24"	36"	BASE CABINET
C11	SB30	2	P. BATH	30"	24"	36"	BASE CABINET
C12	SB36	1	KITCHEN	36"	24"	36"	BASE CABINET
C13	U2716105	1	ENTRY	27"	16"	104 11/16"	UTILITY CABINET
C14	UF116105	1	ENTRY	1"	16"	104 11/16"	UTILITY CABINET FILLER
C15	U3624106	1	KITCHEN	36"	24"	106"	UTILITY CABINET
C16	UF224106	1	KITCHEN	2 1/16"	24"	106"	UTILITY CABINET FILLER
C17	W3048	2	LAUNDRY	30"	12"	48"	WALL CABINET
C18	W422224	1	KITCHEN	42"	24"	22"	WALL CABINET
C19	W3052	1	KITCHEN	30"	12"	52"	WALL CABINET
C20	W2452L	1	KITCHEN	24"	12"	52"	WALL CABINET
C21	U3626106	1	KITCHEN	36"	25 1/2"	106"	UTILITY CABINET
C22	W2152L	1	KITCHEN	21"	12"	52"	WALL CABINET





- GENERAL ELECTRICAL PLAN NOTES**
- 1 All electrical work shall comply with applicable California Electrical Code and local jurisdiction requirements.
 - 2 Verify all existing circuits, devices, and electrical conditions prior to construction.
 - 3 Provide GFCI protection at receptacles in kitchens, bathrooms, garages, laundry areas, exterior locations, and other locations required by code.
 - 4 Provide AFCI protection for branch circuits serving habitable spaces as required by applicable code.
 - 5 All new receptacles shall be tamper-resistant unless otherwise noted.
 - 6 Install smoke detectors and carbon monoxide alarms per applicable code requirements, interconnected and hardwired with battery backup.
 - 7 All lighting fixtures shall comply with current Title 24 energy requirements.
 - 8 Coordinate outlet, switch, and fixture locations with cabinetry, appliances, plumbing fixtures, and finish conditions.
 - 9 Verify exact field locations of electrical devices and coordinate with other trades prior to installation.
 - 10 Provide dedicated circuits for major appliances and equipment in accordance with manufacturer requirements.
 - 11 Recessed lighting shall be IC-rated and airtight where required.
 - 12 Exterior electrical devices shall be weather-resistant and installed in approved weatherproof enclosures.

ELECTRICAL LEGEND		
2 GANG SWITCH	CONTEMPORARY FLUSH	FUCK
220V	DUPLEX	RECESSED DOWN LIGHT 4
3-WAY SLIDING DIMMER	EXHAUST FAN 01	RECESSED DOWN LIGHT 6
BETHANY 3 LIGHT VANITY	GFCI	SINGLE POLE SWITCH
BETHANY 4 LIGHT VANITY	GFCI WP	SMOKE DETECTOR 1
BUBBLE CHANDELIER	GLOBE TABLE LAMP 1	CATALINA LIGHTING ARCHED FLOOR LAMP
CO2 SENSOR	HEADINGLEY SCENCE EXTERIOR	OSBORNE 2 LIGHT MINI PENDANT
CONTEMPORARY CHANDELIER	MOLECULE CHANDELIER	

ELECTRICAL PLAN
3/8"=1'

ELECTRICAL PLAN