



EXISTING STREET VIEW OF RESIDENCE – 371 FAIRFAX AVE, SAN MATEO CA 94402

PROJECT DATA & PROPERTY INFORMATION

APN / Lot Information
Parcel number: 034083020
Lot size: 7,797 sq ft

Item	Description
Project type	Interior remodel – primary suite (bedroom, closet, bathroom)
Occupancy group	R-3 (single-family residence)
Type of construction	V-B (wood frame, non-rated)
Stories	2
Building area	2,570 sq ft (interior living area)
Fire sprinklers	No
Zoning	R-1 (single-family)
Flood zone	Not in designated flood zone – verify with FEMA
Climate zone	3 (per Title 24 – City of San Mateo)
Building Area	2,570 sq ft
Remodeled area	568 sq ft

Additional Project / Permitting Info

- Number of bedrooms: 3
- Number of bathrooms: 2.5
- Style: Single-family residential
- Year built: 1935

CLIENT INFO

Omitted

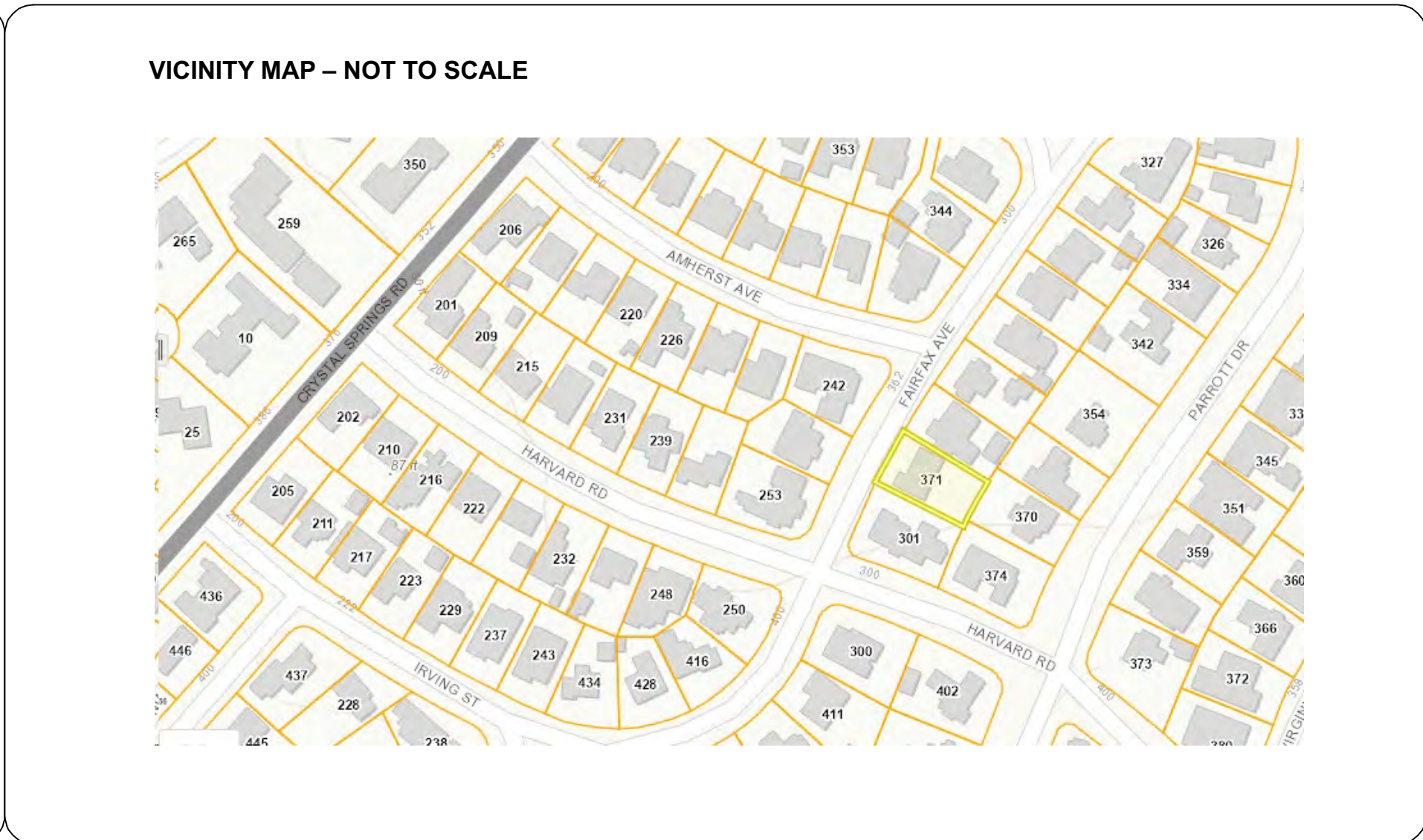
DRAWN BY: *Adrian Dufour*
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

GENERAL NOTES

THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.



GENERAL SCOPE OF WORK

THE PROPOSED PROJECT CONSISTS OF AN INTERIOR REMODEL OF THE EXISTING PRIMARY SUITE, INCLUDING THE BEDROOM, ENTRY, CLOSET, AND BATHROOM AREAS. WORK INCLUDES SELECTIVE DEMOLITION, NEW FRAMING, AND LAYOUT MODIFICATIONS TO IMPROVE FUNCTIONALITY AND CIRCULATION. THE FORMER REACH-IN CLOSET WILL BE REMOVED AND INCORPORATED INTO AN EXPANDED WALK-IN CLOSET FEATURING A NEW PARTITION WALL, LIGHTING, BOOKCASE NICHE, AND UPDATED FINISHES.

IN THE PRIMARY BATHROOM, THE EXISTING TUB AND SHOWER WILL BE REMOVED AND RECONFIGURED TO CREATE A NEW ENCLOSED CURBED SHOWER AND TOILET AREA. IMPROVEMENTS INCLUDE A NEW FREESTANDING DOUBLE-SINK VANITY, UPDATED PLUMBING FIXTURES, LIGHTING, AND VENTILATION. NO CHANGES ARE PROPOSED TO THE EXISTING BUILDING FOOTPRINT, EXTERIOR FAÇADE, OR STRUCTURE.

ALL NEW WORK SHALL COMPLY WITH THE 2022 CALIFORNIA BUILDING STANDARDS CODE (CRC, CPC, CMC, CEC), TITLE 24 ENERGY STANDARDS, AND CALGREEN REQUIREMENTS.

EXTERIOR WALLS OPENED DURING CONSTRUCTION SHALL BE RE-INSULATED TO CURRENT TITLE 24 STANDARDS. SOUND-ATTENUATION INSULATION SHALL BE PROVIDED AT INTERIOR PARTITIONS ADJACENT TO BEDROOMS AND BATHROOMS, WHERE APPLICABLE.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF SAN MATEO BUILDING DEPARTMENT REQUIREMENTS AND INSPECTED PRIOR TO CONCEALMENT.

SEWER LATERAL REPLACEMENT (PER PUBLIC WORKS REQUIREMENT):

DUE TO A FAILED SEWER LATERAL INSPECTION, THE PROJECT SCOPE NOW INCLUDES REPLACEMENT OF THE EXISTING PRIVATE SEWER LATERAL FROM THE BUILDING TO THE CITY MAIN, INCLUDING NEW CLEANOUT(S) AND ALL NECESSARY TRENCHING AND SURFACE RESTORATION. IF THE REPLACEMENT EXTENDS INTO THE PUBLIC RIGHT-OF-WAY, AN ENCROACHMENT PERMIT SHALL BE OBTAINED. ALL WORK TO COMPLY WITH CITY OF SAN MATEO SEWER LATERAL STANDARDS AND CPC.

APPLICABLE CODES

- 2022 California Residential Code (CRC).
- 2022 California Building Code (CBC) – as referenced by CRC.
- 2022 California Plumbing Code (CPC).
- 2022 California Mechanical Code (CMC).
- 2022 California Electrical Code (CEC).
- 2022 California Energy Code (Title 24, Part 6).
- 2022 California Green Building Standards Code (CALGreen, Part 11).
- City of San Mateo municipal amendments to the California Building Standards Code.

INDEX OF DRAWINGS	
PROJECT SUMMARY	T1
CONSTRUCTION BEST PRACTICES	T2
GENERAL NOTES	A0
EXISTING FLOOR PLAN	A1
PRIMARY BEDROOM & CLOSET	A2
PROPOSED FLOOR PLAN	A3
PRIMARY BATHROOM PROPOSED PLAN	A4
BATHROOM ELEVATIONS	A5
BEDROOM & ENTRY ELEVATIONS	A6
BEDROOM & CLOSET ELEVATIONS	E1
ELECTRICAL PLANS	D1
DETAILS	D2

SITE LOCATOR MAP – 371 FAIRFAX AVE, SAN MATEO, CA 94402 (APN 034-083-020)

NOT TO SCALE – FOR REFERENCE ONLY.

PROJECT SUMMARY

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY: *Adrian Dufour*
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

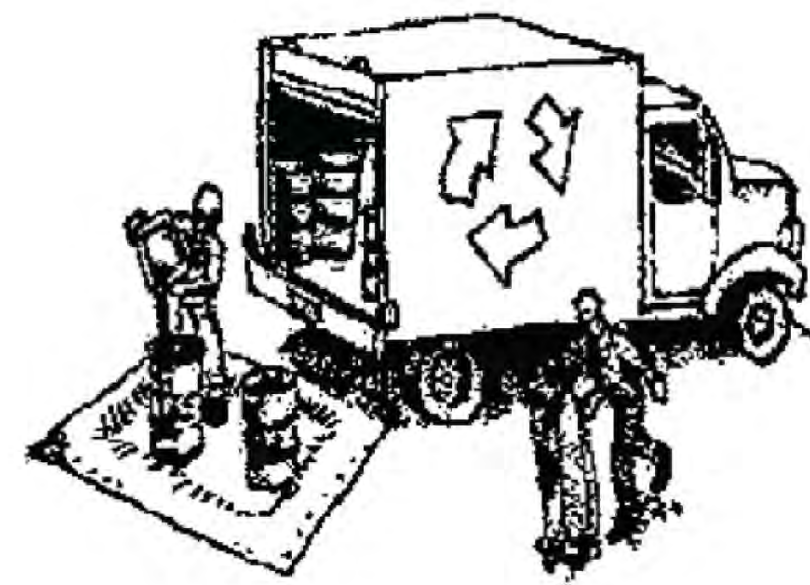
SHEET NUMBER

T1

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



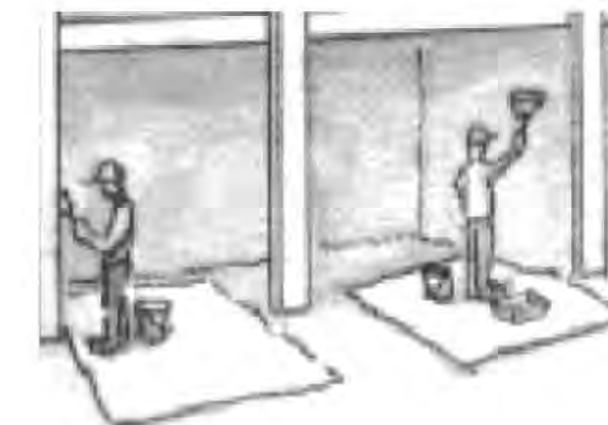
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



Dufour Design

© 2025
1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

CONSTRUCTION BEST PRACTICES

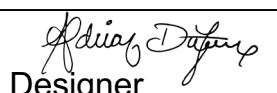
371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY: 
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

T2

GENERAL REQUIREMENTS

- ADDITIONS, ALTERATIONS, AND REPAIRS SHALL CONFORM TO THE REQUIREMENTS FOR NEW CONSTRUCTION (CRC R102.7.1).
- CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS GOVERN.
- PROVIDE ALL TEMPORARY BRACING, SHORING, SAFETY BARRIERS, AND WEATHER PROTECTION AS REQUIRED.
- ALL WORK SHALL COMPLY WITH CAL/OSHA SAFETY STANDARDS.
- INSTALL ALL MATERIALS PER MANUFACTURER'S INSTRUCTIONS AND MAINTAIN LISTED APPROVALS.
- ALL PENETRATIONS OF WALLS, FLOORS, AND CEILINGS SHALL BE FIREBLOCKED AND DRAFTSTOPPED PER CRC R302.11–R302.12.
- INSULATION R-VALUES SHALL COMPLY WITH TITLE 24 PRESCRIPTIVE REQUIREMENTS (MINIMUM R-13 IN 2X4 EXTERIOR WALLS, R-21 IN 2X6 EXTERIOR WALLS, R-30 IN ATTIC/CEILING ASSEMBLIES UNLESS OTHERWISE SPECIFIED).
- SOUND ATTENUATION INSULATION SHALL BE PROVIDED AT BATHROOM AND BEDROOM PARTITIONS FOR PRIVACY.
- ANY UNFORESEEN STRUCTURAL CONDITIONS UNCOVERED DURING CONSTRUCTION SHALL BE REVIEWED BY A LICENSED STRUCTURAL ENGINEER AND APPROVED BY THE CITY PRIOR TO PROCEEDING.

PLUMBING (CPC 2022)

- WATER CLOSET MAX FLUSH VOLUME: 1.28 GPF.
- LAVATORY FAUCETS MAX FLOW: 1.2 GPM AT 60 PSI.
- KITCHEN FAUCETS MAX FLOW: 1.8 GPM.
- SHOWERHEADS MAX FLOW: 1.8 GPM.
- ALL NEW FITTINGS AND VALVES SHALL BE LEAD-FREE PER CPC §604.11.
- PROVIDE INDIVIDUAL SHUTOFF VALVES AT ALL NEW FIXTURES.
- SHOWER COMPARTMENTS SHALL BE WATERPROOFED WITH ANSI A118.10 COMPLIANT SYSTEM, EXTENDING AT LEAST 3" ABOVE THRESHOLDS/BENCHES.
- ALL SHOWER FLOORS SHALL SLOPE 1/4" PER FOOT TO THE DRAIN.
- SHOWER/TUB VALVES SHALL BE PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVES PER CPC §408.3.
- SHOWER PANS SHALL BE FLOOD-TESTED FOR 15 MINUTES PER CPC §312.9.
- FLOOR DRAINS SHALL BE PROVIDED WITH APPROVED TRAP PRIMERS WHERE REQUIRED.

MECHANICAL (CMC 2022)

- KITCHEN RANGE HOOD EXHAUST SHALL BE HVI CERTIFIED OR AHAM LISTED PER TITLE 24, APPENDIX RA3.7.4.3.
- PROVIDE 30" MINIMUM VERTICAL CLEARANCE ABOVE COOKING SURFACES TO COMBUSTIBLE MATERIALS (CMC 920.3.2).
- BATHROOM EXHAUST FANS SHALL PROVIDE 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS, BE ENERGY STAR RATED, AND ≤1.0 SONE IF INTERMITTENT. FANS SHALL VENT DIRECTLY TO EXTERIOR WITH INDEPENDENT DUCT AND BACKDRAFT DAMPER.
- DRYER EXHAUST DUCTS SHALL BE RIGID METAL, MINIMUM 4" DIAMETER, DUCTED INDEPENDENTLY TO EXTERIOR WITH BACKDRAFT DAMPER, NO SCREENS, AND LENGTH LIMITS PER CMC §504.4.
- ALL HVAC/MECHANICAL SYSTEMS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND LISTING.

ELECTRICAL (CEC 2022)

- ALL NEW AND MODIFIED ELECTRICAL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE 2022 CEC, TITLE 24, AND CITY OF SAN MATEO AMENDMENTS.
- AFCI PROTECTION REQUIRED FOR ALL 120-V, 15- AND 20-AMP CIRCUITS IN HABITABLE ROOMS (CEC 210.12).
- GFCI PROTECTION REQUIRED IN BATHROOMS, KITCHENS, LAUNDRY AREAS, GARAGES, UNFINISHED BASEMENTS, CRAWLSPACES, EXTERIOR, AND WITHIN 6 FT OF SINKS, TUBS, AND SHOWERS (CEC 210.8).
- SURGE PROTECTIVE DEVICE (SPD) REQUIRED AT SERVICE OR FEEDER PANEL (CEC 230.67).
- BATHROOM AND LAUNDRY RECEPTACLES SHALL BE ON DEDICATED 20A CIRCUITS (CEC 210.11(C)(2)(3)).

RECEPTACLES

- SPACING PER CEC 210.52 ("6/12 RULE").
- AT LEAST ONE RECEPTACLE WITHIN 3 FT OF EACH BATHROOM BASIN.
- PROVIDE AT LEAST ONE RECEPTACLE AT EACH KITCHEN ISLAND AND PENINSULA WHERE KITCHEN WORK IS IN SCOPE.
- ALL 125-V, 15- AND 20-A RECEPTACLES SHALL BE TAMPER-RESISTANT (CEC 406.12).
- EXTERIOR RECEPTACLES SHALL BE WEATHER-RESISTANT WITH IN-USE COVERS (CEC 406.9).

LIGHTING / CONTROLS

- ALL NEW LUMINAIRES SHALL BE HIGH-EFFICACY PER TITLE 24.
- RECESSED DOWNLIGHTS IN INSULATED CEILINGS SHALL BE IC-RATED, AIRTIGHT, AND SHALL NOT CONTAIN SCREW-BASED SOCKETS (CEC 150.0(K)1C). LAMPS SHALL BE JA8-2022 OR JA8-2022-E COMPLIANT.
- BATHROOMS, LAUNDRY ROOMS, AND GARAGES SHALL USE VACANCY SENSORS (MANUAL-ON, AUTO-OFF) OR EQUIVALENT CONTROLS PER TITLE 24.
- PROVIDE DAMP- OR WET-RATED FIXTURES IN SHOWERS AND BATHROOMS.
- EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY AND CONTROLLED BY MANUAL SWITCH PLUS PHOTOCELL OR AUTOMATIC SHUTOFF.

SMOKE/CO ALARMS

- SMOKE ALARMS: HARD-WIRED WITH BATTERY BACKUP, INTERCONNECTED IN EACH BEDROOM, OUTSIDE SLEEPING AREAS, AND ON EACH STORY (CRC R314).
- CARBON MONOXIDE ALARMS: HARD-WIRED WITH BATTERY BACKUP OUTSIDE SLEEPING AREAS WHERE FUEL-BURNING APPLIANCES OR GARAGES ARE PRESENT (CRC R315).
- MAINTAIN ELECTRICAL EQUIPMENT WORKING CLEARANCES PER CEC 110.26 (36" DEPTH, 30" WIDTH, 6'-6" HEADROOM).
- LABEL ALL PANEL CIRCUITS TO CORRESPOND WITH PLANS.
- ALL ELECTRICAL DEVICES, EQUIPMENT, AND WIRING SHALL BE UL-LISTED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

ENERGY / CALGREEN

- ALL NEW LIGHTING, CONTROLS, AND MECHANICAL SYSTEMS SHALL COMPLY WITH 2022 TITLE 24, PART 6.
- CONTRACTOR SHALL PROVIDE COMPLIANCE DOCUMENTATION (CF1R/CF2R/CF3R) AS REQUIRED FOR TITLE 24 LIGHTING, INSULATION, AND MECHANICAL.
- AT LEAST 65% OF CONSTRUCTION AND DEMOLITION WASTE SHALL BE DIVERTED FROM LANDFILL PER CALGREEN §4.408.
- USE LOW-VOC ADHESIVES, PAINTS, COATINGS, AND SEALANTS PER CALGREEN.

FINISHES

- INSTALL MOISTURE-RESISTANT DRYWALL IN BATHROOMS, LAUNDRY ROOMS, AND WET AREAS.
- TILE INSTALLATION SHALL CONFORM TO TCNA GUIDELINES AND ANSI STANDARDS.
- GROUT JOINTS AT CHANGES OF PLANE SHALL BE FILLED WITH FLEXIBLE SEALANT (100% SILICONE OR APPROVED EQUAL).
- FLOORING TRANSITIONS SHALL USE APPROVED EDGE-PROTECTION PROFILES (E.G., SCHLUTER OR EQUAL).
- PAINT IN BATHROOMS AND WET AREAS SHALL BE SEMI-GLOSS, SATIN, OR EQUIVALENT MOISTURE-RESISTANT FINISH.
- GLAZING IN HAZARDOUS LOCATIONS, INCLUDING SHOWER ENCLOSURES, SHALL BE TEMPERED SAFETY GLASS PER CRC R308.

INSPECTIONS / ADMINISTRATION

- ALL WORK SHALL BE INSPECTED PRIOR TO CONCEALMENT.
- ROUGH PLUMBING, MECHANICAL, FRAMING, AND ELECTRICAL INSPECTIONS REQUIRED BEFORE INSULATION AND DRYWALL.
- CONTRACTOR SHALL COORDINATE ROUGH INSPECTIONS ACROSS TRADES.
- CONTRACTOR SHALL PROVIDE ATTIC AND CRAWLSPACE ACCESS FOR INSPECTION.
- FINAL INSPECTION SHALL VERIFY COMPLIANCE WITH APPROVED PLANS, APPLICABLE CODES, TITLE 24 ENERGY STANDARDS, CALGREEN WASTE DIVERSION, AND MANUFACTURER'S INSTALLATION REQUIREMENTS.
- ANY DISCOVERED STRUCTURAL CONDITIONS SHALL BE REFERRED TO A LICENSED STRUCTURAL ENGINEER AND APPROVED BY THE CITY BEFORE PROCEEDING.

GENERAL CONSTRUCTION & INSPECTION NOTES

- COORDINATE WITH OWNER PRIOR TO REMOVAL OF ANY EXISTING FINISH MATERIALS.
- PROTECT EXISTING FINISHES, ADJACENT SURFACES, AND FIXTURES DURING CONSTRUCTION.
- CONTRACTOR SHALL CONFIRM ALL DIMENSIONS, ALIGNMENTS, AND ROUGH OPENINGS PRIOR TO INSTALLATION OF FIXTURES OR CABINETS.
- PROVIDE FRAMING BACKING/BLOCKING AT ALL WALL-MOUNTED ACCESSORIES, CABINETS, AND HEAVY FIXTURES.
- FIRE-CAULK OR FOAM ALL PENETRATIONS IN TOP AND BOTTOM PLATES AND AT RATED ASSEMBLIES.
- VERIFY LOCATIONS OF LIGHTING, EXHAUST FANS, AND MECHANICAL PENETRATIONS BEFORE INSTALLATION OF INSULATION OR DRYWALL.
- ALL JOINTS AND PENETRATIONS AT WET AREAS SHALL BE SEALED WATERTIGHT.
- CONTRACTOR SHALL MAINTAIN THE SITE CLEAN AND SAFE AT ALL TIMES.
- DELIVER TITLE 24, CALGREEN, AND PRODUCT DOCUMENTATION TO INSPECTOR AT FINAL INSPECTION.
- PROVIDE ACCESS TO ATTIC AND CRAWLSPACE AREAS FOR INSPECTION.
- ALL REQUIRED ROUGH INSPECTIONS SHALL BE APPROVED PRIOR TO CONCEALMENT OF WORK.
- FINAL INSPECTION SHALL VERIFY COMPLIANCE WITH APPROVED PLANS, APPLICABLE CODES, AND MANUFACTURER INSTRUCTIONS.

End of General Notes – See individual plan sheets for additional scope-specific notes.

ABBREVIATIONS

Symbol	Definition
AFF	Above finished floor
ALT	Alternate
BLDG	Building
BM	Beam
CLG	Ceiling
CNTR	Counter
DTL	Detail
DWG	Drawing
ELEC	Electrical
EQ	Equal
EXT	Exterior
FIN FL	Finish floor
GFCI	Ground fault circuit interrupter
HVAC	Heating, ventilation, and air conditioning
INSUL	Insulation
INT	Interior
MAX	Maximum
MIN	Minimum
NTS	Not to scale
OC	On center
PLAM	Plastic laminate
PTD	Painted
RCP	Reflected ceiling plan
TYP	Typical
UNO	Unless noted otherwise
VIF	Verify in field
W/	With
W/O	Without



Dufour Design

1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

GENERAL NOTES

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	PLAN CHECK	AD

SCALE @ 24" X 36"

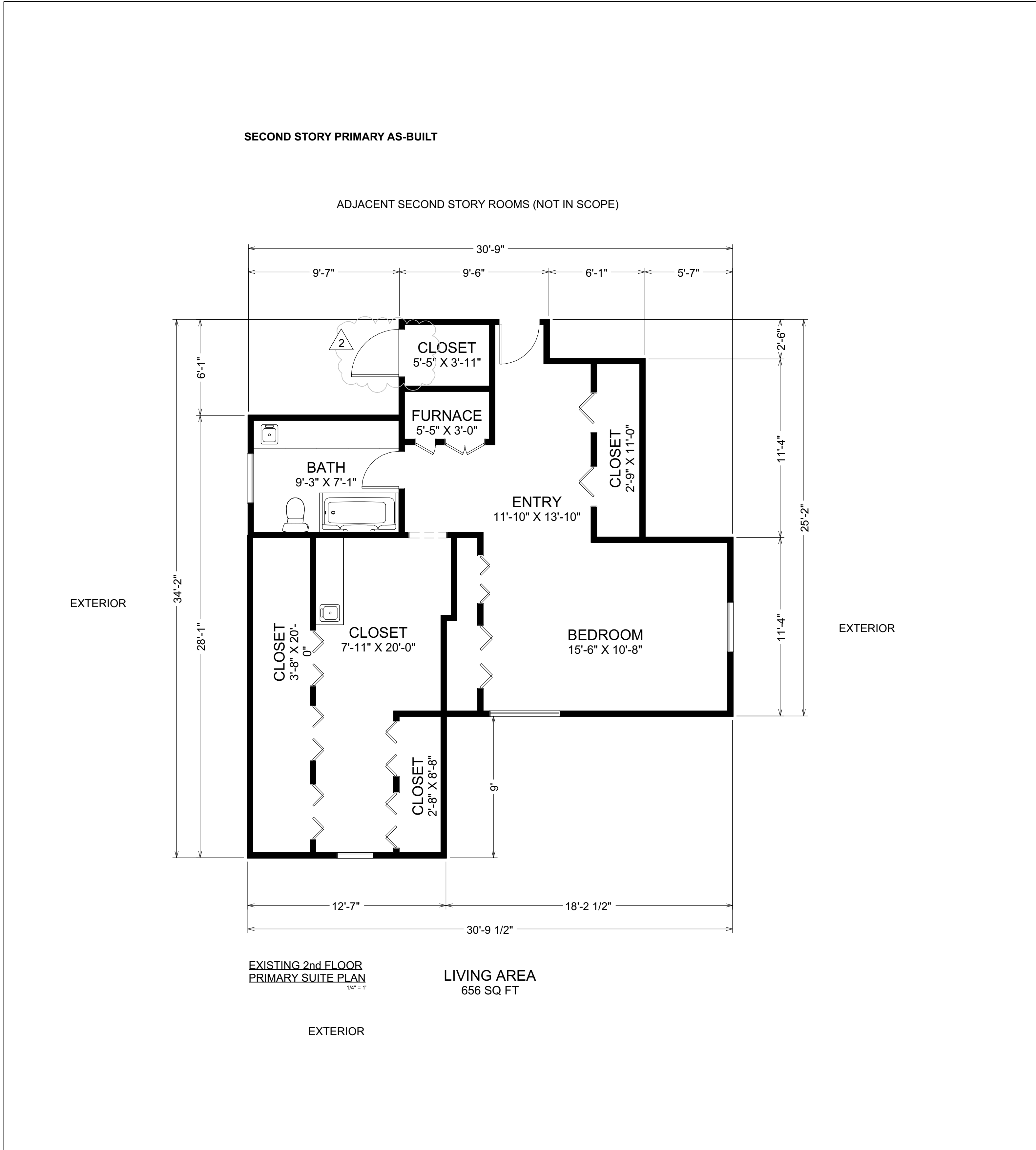
DATE: 10/1/2025

DRAWN BY:

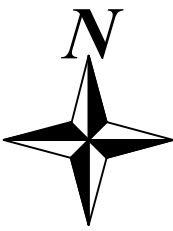
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

A0



- EXISTING CONDITION NOTES**
- 1 Floor plan based on field measurements and available documentation.
 - 2 All existing construction to remain unless otherwise noted on proposed plan (Sheet A2).
 - 3 No new exterior openings, wall modifications, or additions are proposed.
 - 4 Areas labeled "Not in Scope" are excluded from work.
 - 5 Closet alcoves under roof slopes are unconditioned storage areas and are not part of the project scope.





Dufour Design
1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

© 2025

EXISTING FLOOR
PLAN

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	PLAN CHECK	AD

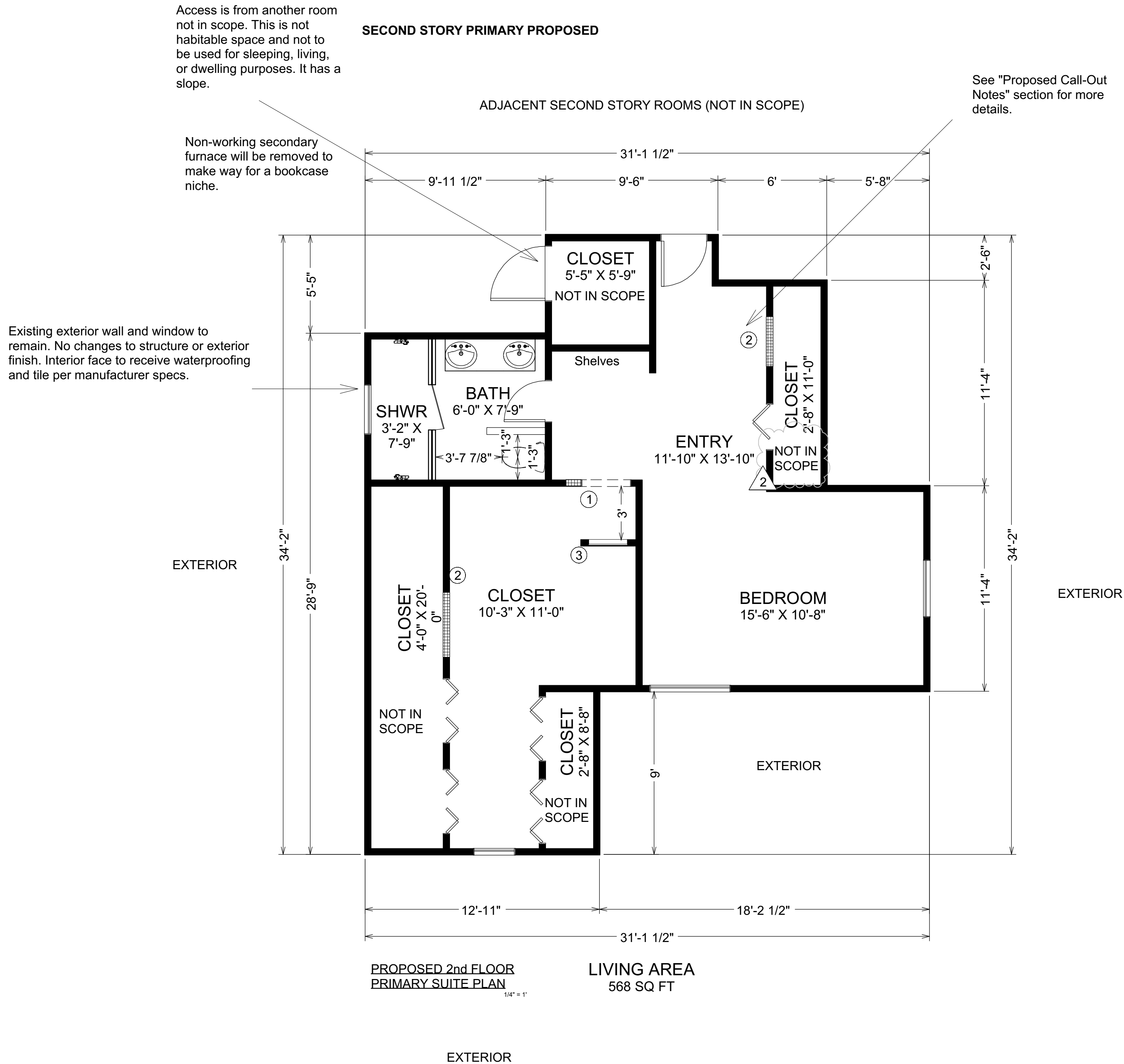
SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY: 
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

A1



- PRIMARY BEDROOM / ENTRY / CLOSET AREA**
- INSTALL NEW RECESSED LIGHTING AND WALL SCONCES.
 - REPLACE SHEETROCK AS NEEDED AND REPAINT WALLS AND CEILING.
 - REMOVE EXISTING REACH-IN CLOSET; CLOSE CLOSET'S DOOR OPENINGS TO BEDROOM.
 - EXPAND WALK-IN CLOSET BY INCORPORATING SPACE FROM REACH-IN CLOSET.
 - INSTALL NEW LIGHTING, SHEETROCK, AND PAINT FINISHES.
 - ADD NEW ELECTRICAL SWITCHES, OUTLETS, SMOKE DETECTORS & CO2 DETECTORS PER CODE.

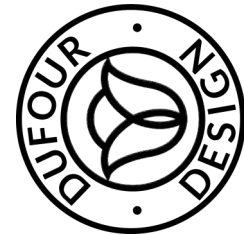
- DEMOLITION**
- REMOVE EXISTING PRIMARY BEDROOM REACH-IN CLOSETS IN ITS ENTIRETY.
 - REMOVE EXISTING VANITY WITH SINK IN THE CLOSET AREA.
 - REMOVE EXISTING SECONDARY NON-WORKING FURNACE UNIT AND FRAMING AT ENTRY AREA.

- FRAMING / LAYOUT**
- RELOCATE CLOSET DOORWAY SLIGHTLY EAST AS SHOWN ON PLAN.
 - CONSTRUCT NEW FRAMING AND DRYWALL INFILL TO CLOSE OFF A PORTION OF FORMER CLOSET DOOR OPENINGS.
 - FRAME NEW OPEN BOOKCASE NICHE AT FORMER NON-WORKING SECONDARY FURNACE LOCATION.
 - CONSTRUCT NEW 3' PARTITION WALL AT CLOSET ENTRY WITH INTEGRATED ART NICHE.
 - REFER TO D1 - DETAILS PAGE FOR FURTHER WALL FRAMING DETAILS
 - FRAMING IS NON-STRUCTURAL AND SHALL MATCH EXISTING CONSTRUCTION WHERE ADJACENT.
 - PROVIDE 2x4 WOOD STUDS AT 16" O.C., SINGLE TOP AND BOTTOM PLATES, AND GYPSUM BOARD FINISH ON BOTH SIDES UNLESS OTHERWISE NOTED.
 - WHERE EXISTING OPENINGS ARE INFILLED, PROVIDE APPROPRIATE TOP PLATE AND SILL FRAMING TO MATCH EXISTING WALL DEPTH AND FINISH MATERIALS.
 - FINAL LAYOUT, ANCHORAGE, AND FRAMING ADJUSTMENTS TO BE COORDINATED BY THE CONTRACTOR OR FRAMING SUBCONTRACTOR IN THE FIELD.

- FINISHES**
- SHEETROCK OVER FORMER CLOSET DOOR OPENINGS TO CREATE CONTINUOUS WALL SURFACE.
 - INSTALL NEW DRYWALL AND FINISH TO AFFECTED AREAS TO MATCH ADJACENT SURFACES.
 - PREPARE AND PAINT ALL NEW WALL SURFACES.
 - INSTALL BASEBOARD TRIM AND CASING AT RELOCATED CLOSET OPENING AND NEW PARTITION WALL.
 - FINISH ART NICHE WITH SHEETROCK.

- GENERAL NOTES**
- THE SHOWER IS DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME PER CGC 4.303.1.3.2 AND CPC 408.2.2. WITH A TWO-WAY DIVERTER VALVE AND WILL BE NO MORE THAN 1.8GPM AT 80PSI
 - GLASS ENCLOSURES WILL USE SAFETY GLAZING IN AREAS CONTAINING SHOWERS PER CRC 308.4.5 AND THAT MINIMUM OPENING TO BE NO LESS THAN 22" PER CPC 408.5. THE SHOWER ENCLOSURE SHALL BE A PONY WALL BELOW WITH SAFETY GLAZING ON TOP. THE DOOR WIDTH WILL BE 30".
 - THERE IS NO DIRECT ACCESS TO THE GARAGE FROM A BEDROOM
 - PROVIDE INSULATION AT ALL EXTERIOR WALLS, FLOORS, AND CEILINGS OPENED DURING CONSTRUCTION, PER TITLE 24 ENERGY CODE REQUIREMENTS.
 - SMOKE AND CARBON MONOXIDE DETECTORS TO BE INSTALLED/UPDATED AS REQUIRED BY CRC SECTIONS R314 AND R315.
 - ENERGY CODE COMPLIANCE (TITLE 24) REQUIRED FOR NEW LIGHTING, CONTROLS, AND EXHAUST FAN INSTALLATIONS.
 - ALL NEW WORK TO CONFORM WITH 2022 CRC, CPC, CMC, CEC, CALGREEN, AND CITY OF SAN MATEO MUNICIPAL AMENDMENTS.
 - ALL WORK TO COMPLY WITH 2022 CBC, CRC, AND CITY OF SAN MATEO AMENDMENTS.
 - CONTRACTOR SHALL VERIFY THAT ALL REMOVED ELEMENTS ARE NON-STRUCTURAL PRIOR TO DEMOLITION; PROVIDE HEADERS OR SUPPORTS IF REQUIRED.
 - ALL WORK TO BE INSPECTED PRIOR TO CONCEALMENT.

- PROPOSED CALL-OUT NOTES**
- 1 CLOSET DOORWAY THAT WILL MOVE SLIGHTLY EAST.
- 2 CLOSET DOORS THAT WILL BE REMOVED AND FILLED-IN.
- 3 PARTITION WALL WITH ART NICHE.



Dufour Design

© 2025
1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

PRIMARY BEDROOM & CLOSET PROPOSED FLOOR PLAN

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

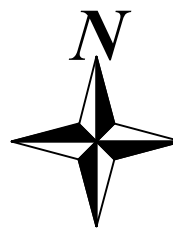
SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY:
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

A2





Dufour Design

© 2025
1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

PRIMARY BATHROOM PROPOSED PLAN

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

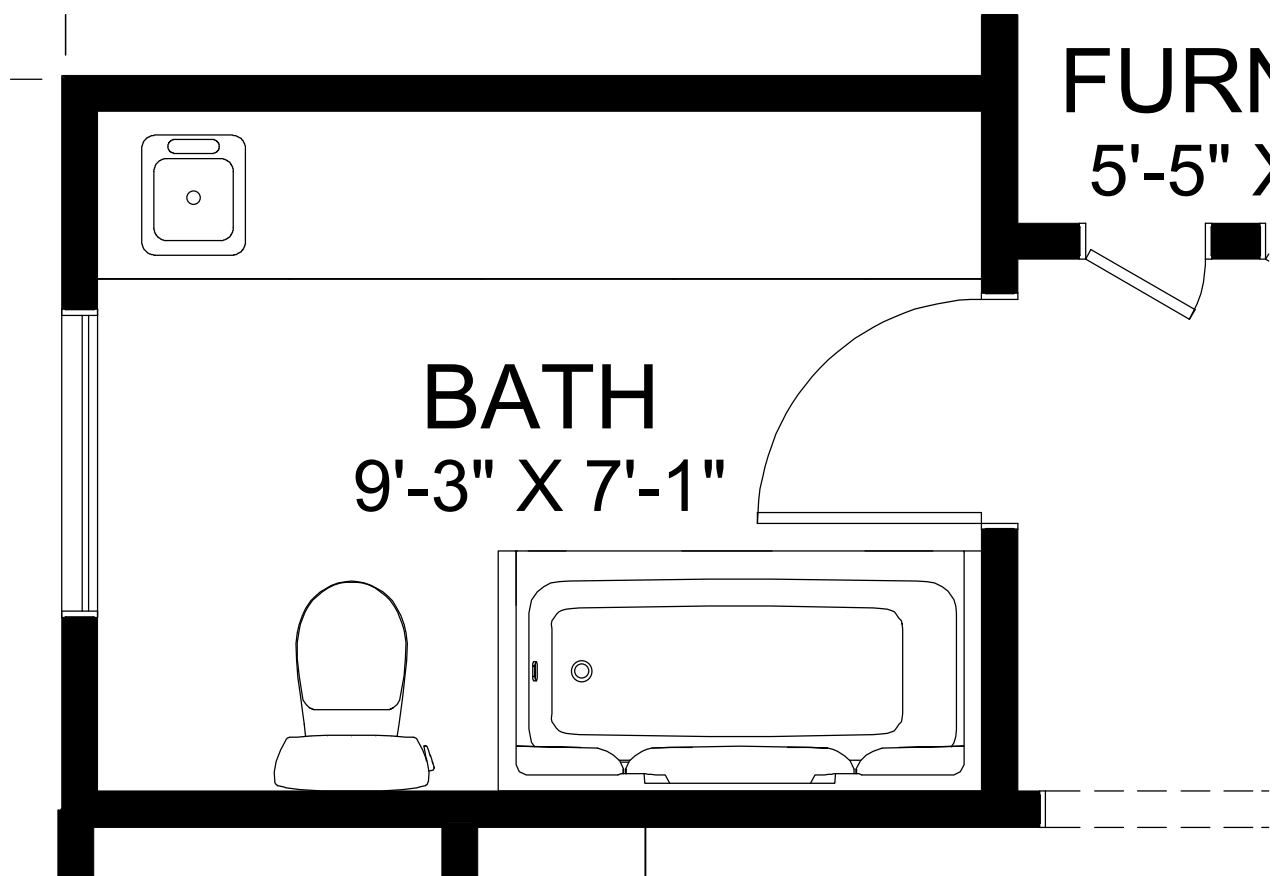
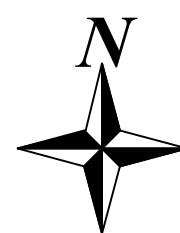
SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY:
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

A3



EXISTING 2nd FLOOR
EXISTING BATHROOM PLAN
1/2" = 1'

PROPOSED PLAN LEGEND

- 60" FREESTANDING VANITY - DOUBLE SINK
- BATH LAVATORY
- STANDARD TOILET
- FULL TEMPERED GLASS SURROUND AND DOOR
- HANDHELD SHOWER
- LINEAR SHOWER DRAIN
- 30" POCKET DOOR
- BUILT-IN BENCH
- SHOWER VALVE WITH SINGLE DIVERTER
- SHOWER HEAD
- 12" X 20" NICHE

BATHROOM

- REMOVE EXISTING TUB AND SHOWER; CONVERT AREA TO TOILET AREA WITH PONY WALL.
- ENCLOSE EXISTING TOILET AREA (WITH EXISTING SMALL WINDOW) TO CREATE A NEW SHOWER ENCLOSURE.
- REMOVE WALL-TO-WALL VANITY; REPLACE WITH FREESTANDING 60" DOUBLE-SINK VANITY.
- INSTALL NEW PLUMBING FIXTURES, BATH ACCESSORIES, AND EXHAUST FAN.
- PROVIDE NEW VANITY LIGHTING, RECESSED LIGHTING, AND DAMP-RATED FIXTURES AS REQUIRED.
- ADD OCCUPANCY SENSOR CONTROLS FOR LIGHTING PER 2022 TITLE 24 REQUIREMENTS.

DEMOLITION

- REMOVE ALL EXISTING FIXTURES, FINISHES, AND PARTITIONS WITHIN BATHROOM FOOTPRINT, INCLUDING TUB/SHOWER, TOILET, AND VANITY.
- REMOVE EXISTING DRYWALL AS NEEDED FOR NEW PLUMBING, ELECTRICAL, AND WATERPROOFING.

FRAMING

- CONSTRUCT NEW PONY WALLS AND SHOWER CURB AT SHOWER ENCLOSURE PER PLAN.
- FRAME NEW WALL MODIFICATIONS TO ACCOMMODATE SHOWER AND UPDATED LAYOUT.
- FRAME 12" X 24" RECESSED WALL NICHE UNDER EACH SHOWER HEAD.
- FRAME BUILT-IN BENCH AT SHOWER.

SHOWER / WETROOM

- INSTALL 30" FRAMELESS GLASS SHOWER DOOR.
- INSTALL TWO SHOWER SYSTEMS FOR SEPARATE USE.
- LOCATE SHOWER VALVES ON INSIDE ENTRY WALL FOR ACCESSIBILITY.
- PROVIDE FULL WATERPROOFING SYSTEM AT ALL WET AREAS (E.G., SCHLUTER OR EQUAL).
- INSTALL NEW TILE SHOWER SURROUND, FLOOR-TO-CEILING FINISH.
- SHOWER CURB MIN 2" ABOVE DRAIN PER CPC 408.5.
- TILE AND FINISH WALL NICHE AND BENCH TO MATCH OR ACCENT SHOWER TILE.

PLUMBING

- RELOCATE PLUMBING FOR NEW DOUBLE VANITY, SHOWER, AND TOILET PER PROPOSED LAYOUT.
- INSTALL NEW 60" DOUBLE VANITY WITH SINKS AND FAUCETS.
- ROUGH-IN AND FINAL PLUMBING TO COMPLY WITH 2022 CPC (CALIFORNIA PLUMBING CODE).

ELECTRICAL / LIGHTING

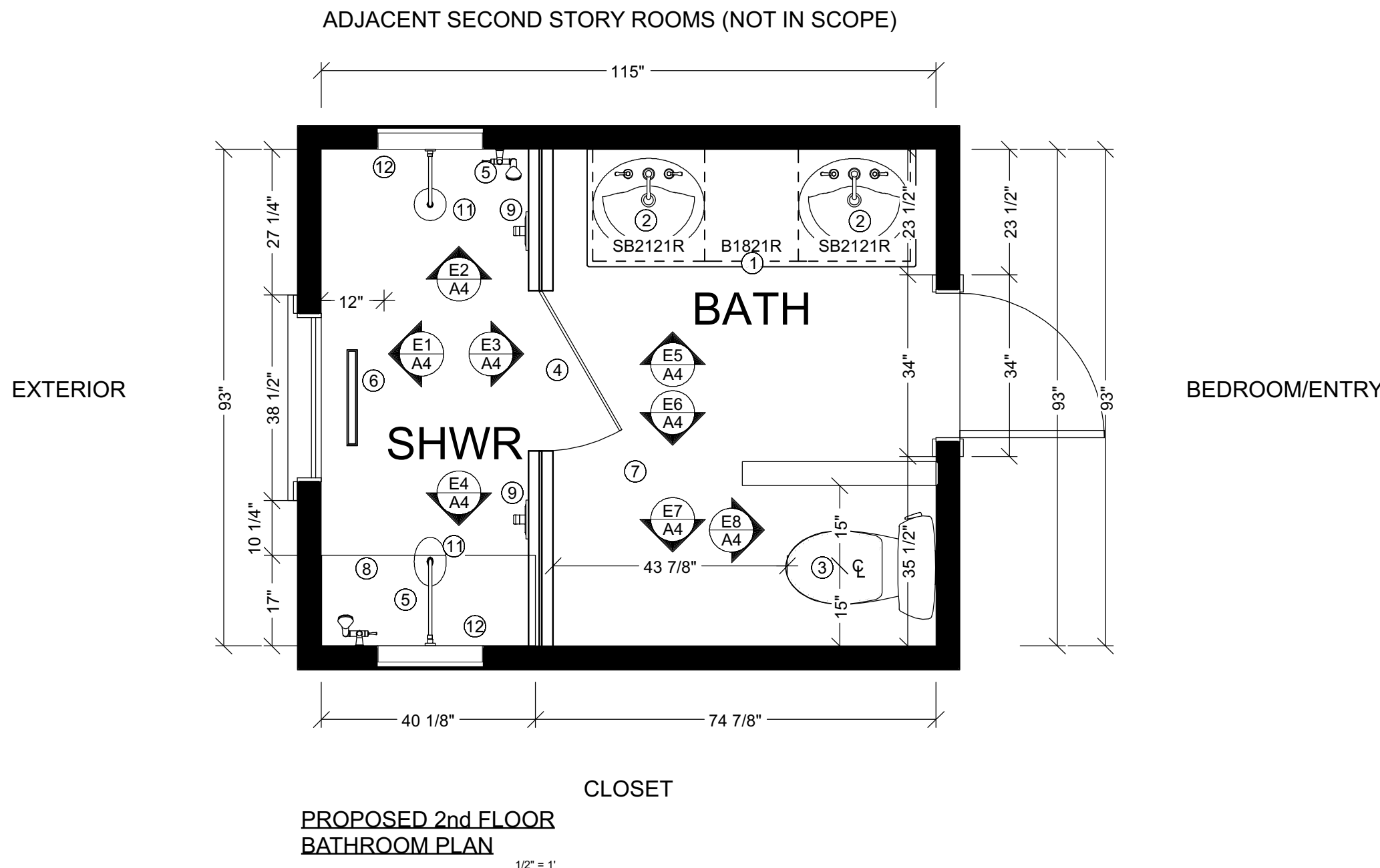
- PROVIDE NEW ELECTRICAL CIRCUITS AS REQUIRED.
- INSTALL NEW VANITY LIGHTING ABOVE MIRRORS.
- ADD RECESSED CEILING LIGHTING AT SHOWER AND GENERAL BATH AREA.
- ALL NEW ELECTRICAL TO COMPLY WITH 2022 CEC, INCLUDING GFCI PROTECTION.

FINISHES

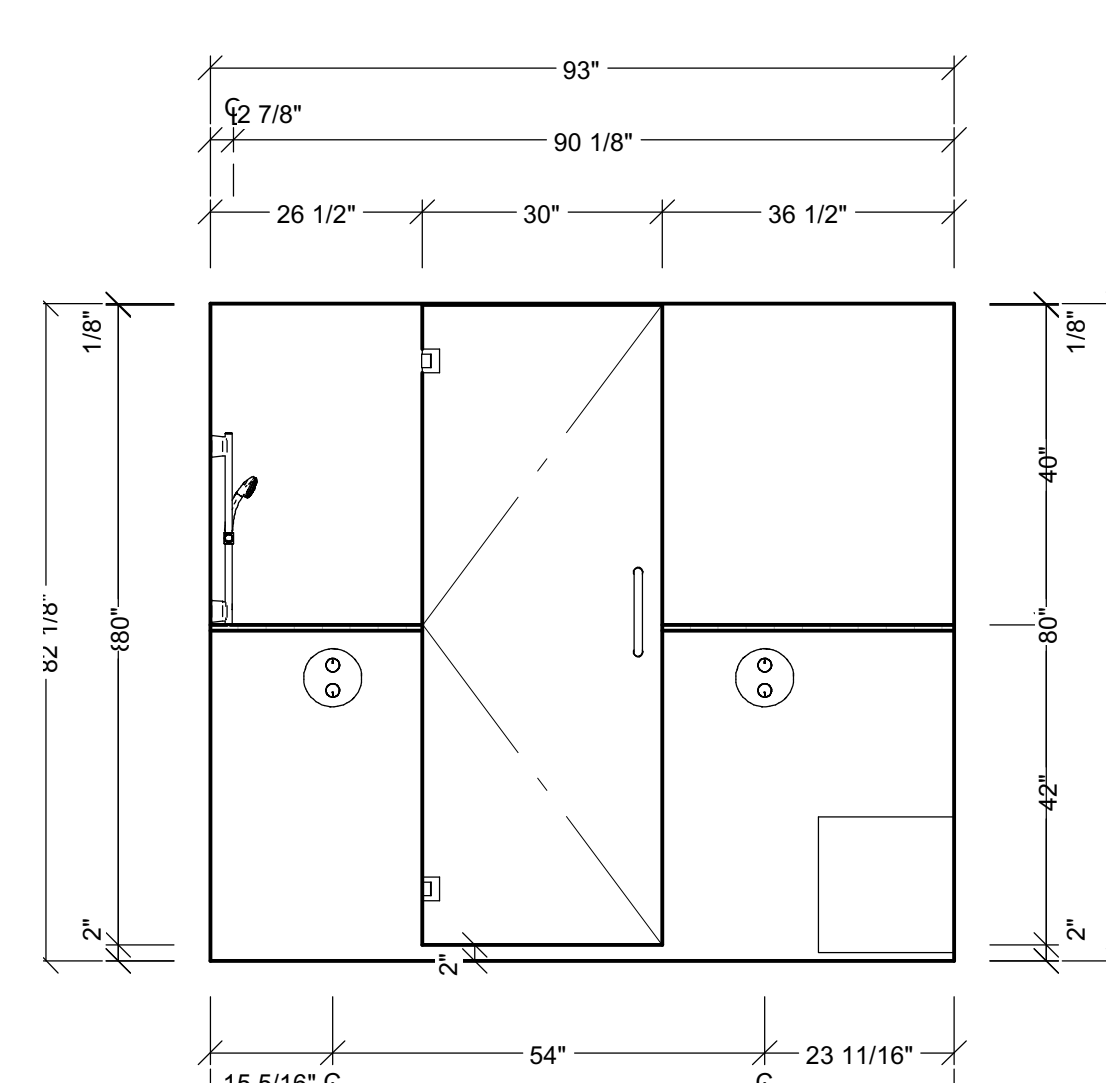
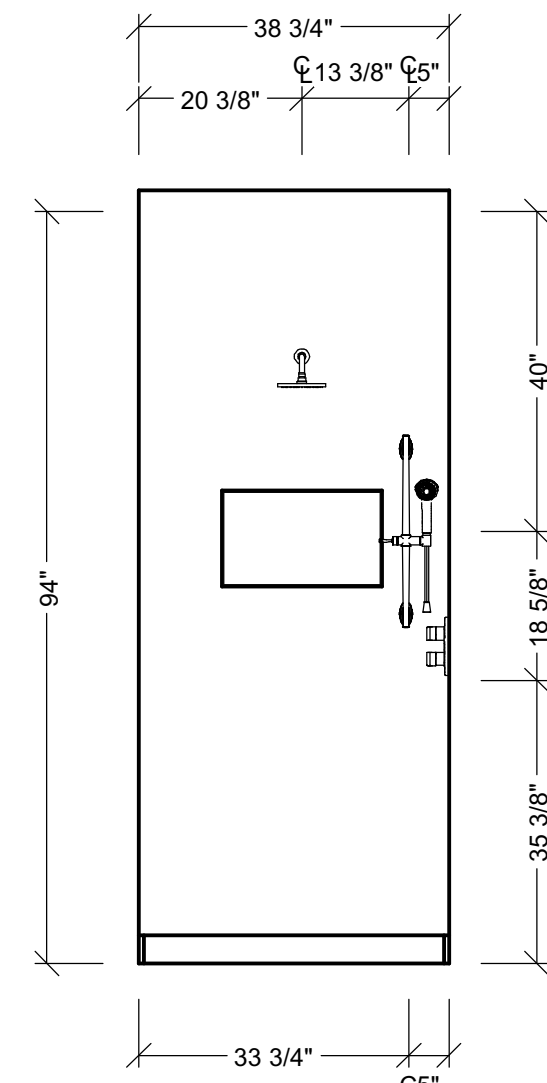
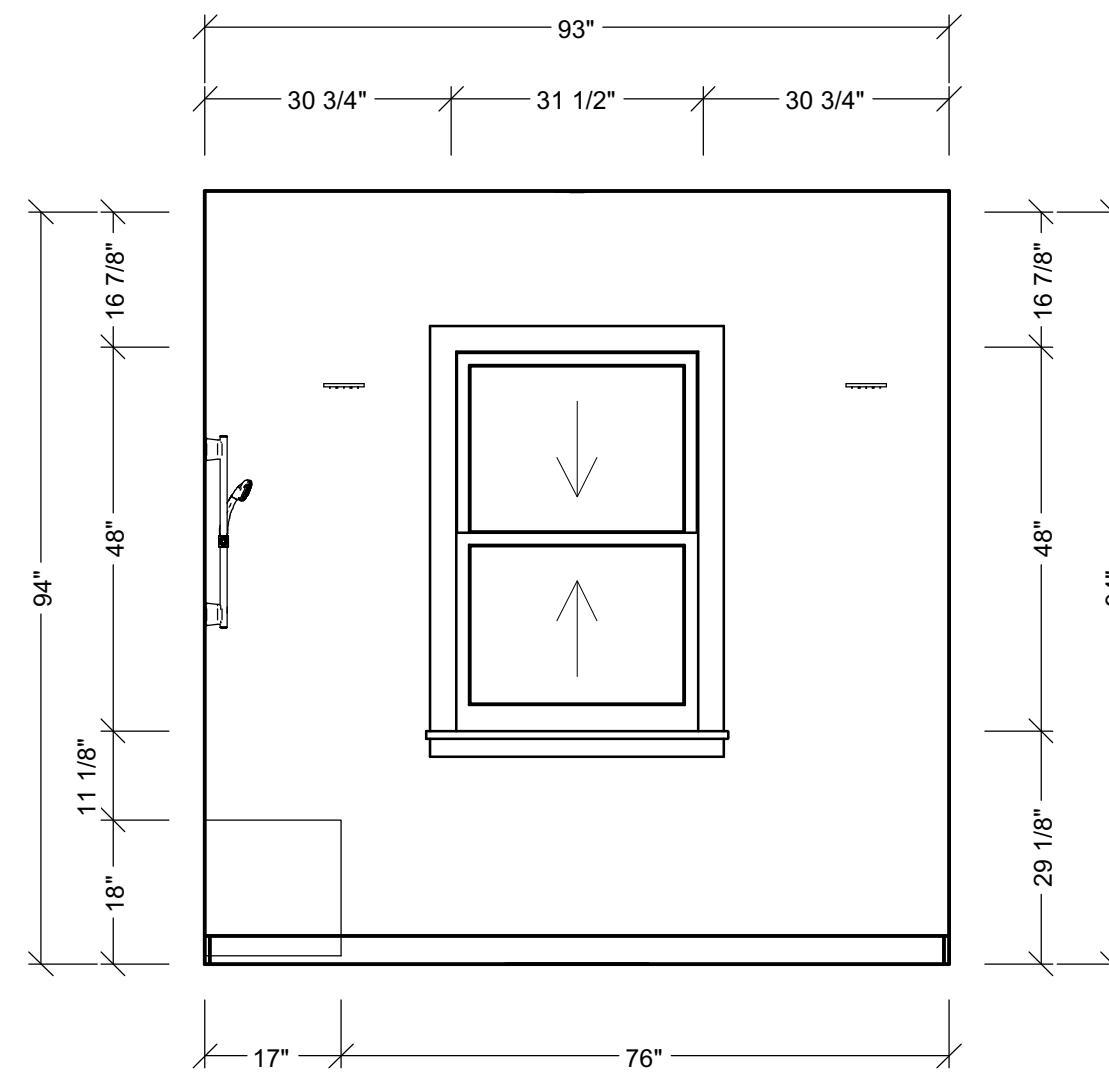
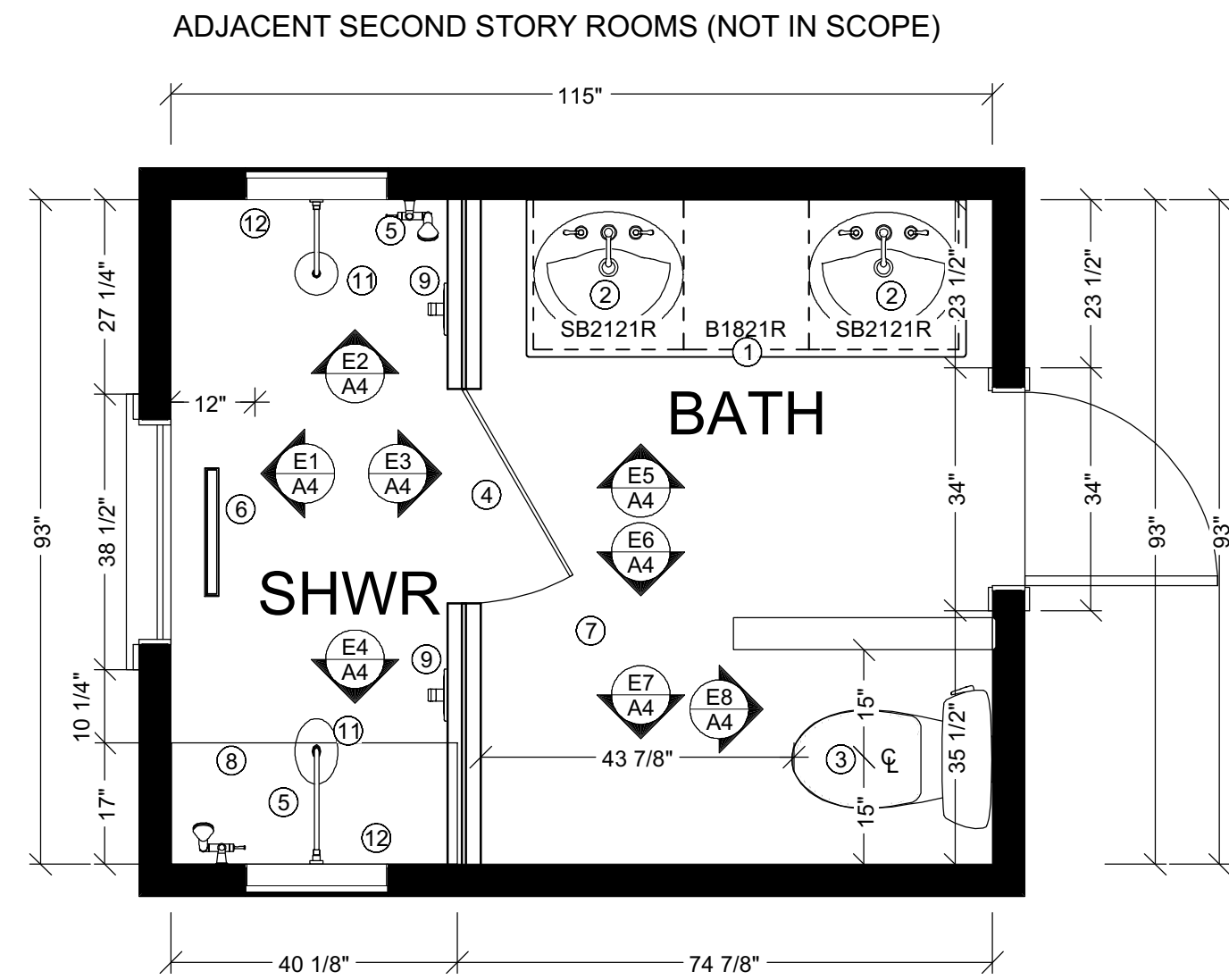
- INSTALL NEW DRYWALL AND FINISH THROUGHOUT BATHROOM.
- PAINT ALL NEW WALL AND CEILING SURFACES.
- INSTALL NEW FLOOR TILE ACROSS BATHROOM AND SHOWER AREA.

GENERAL NOTES

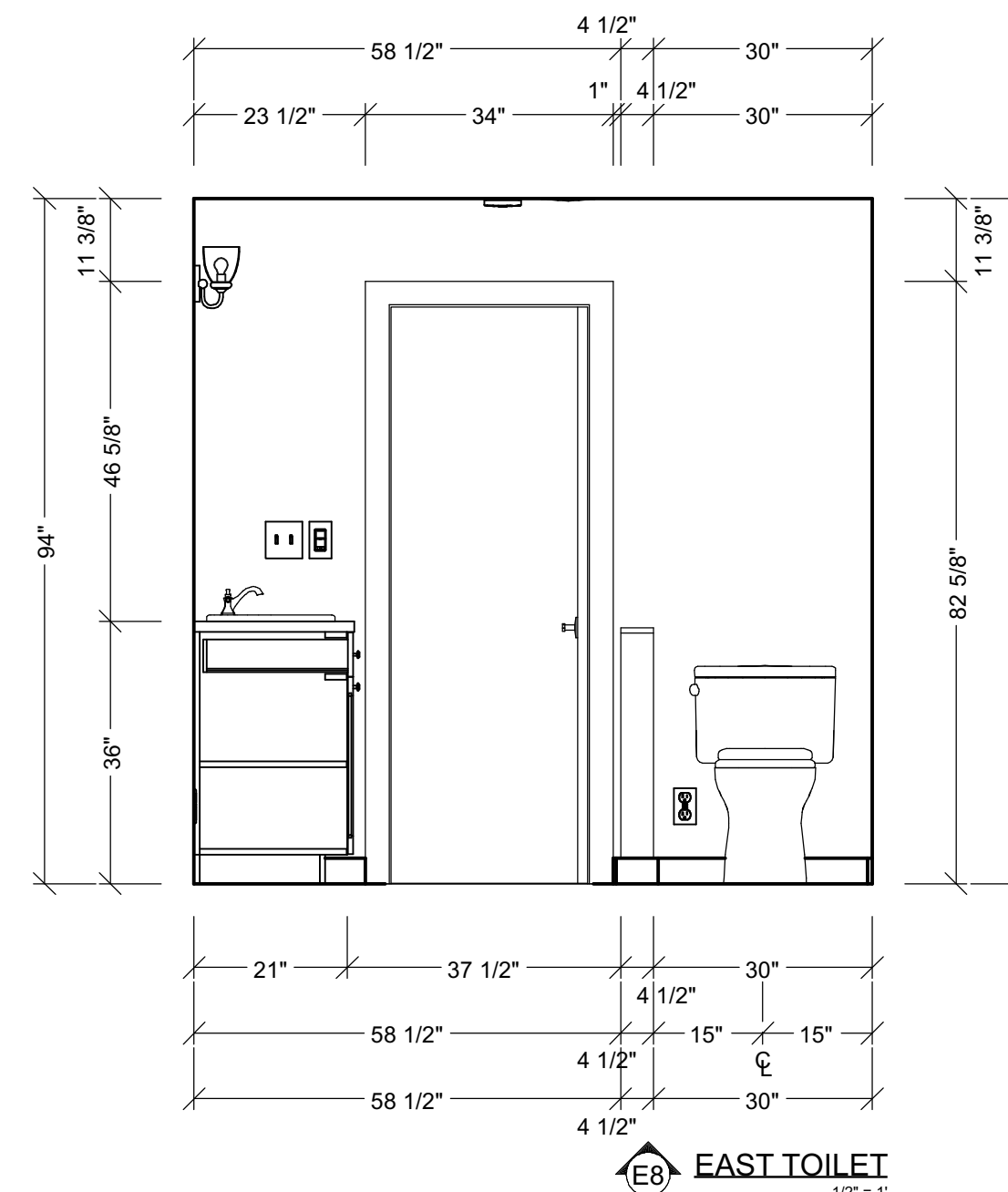
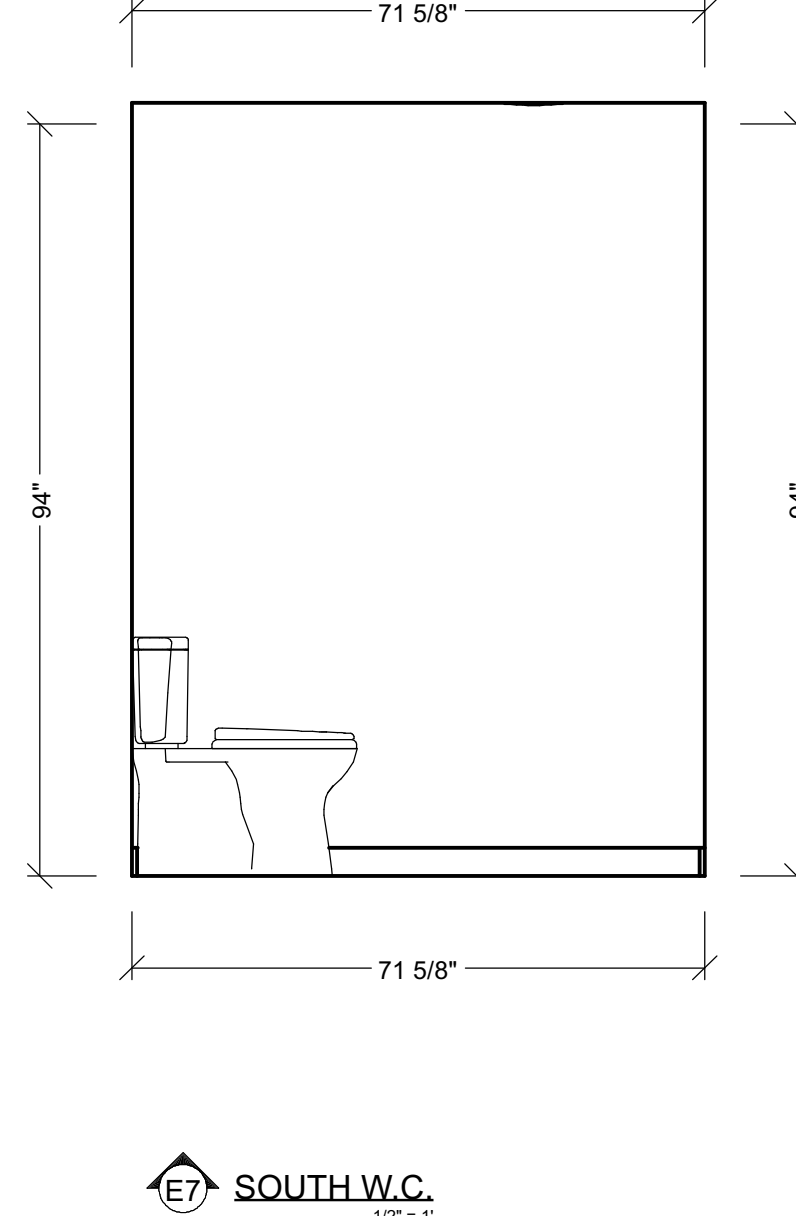
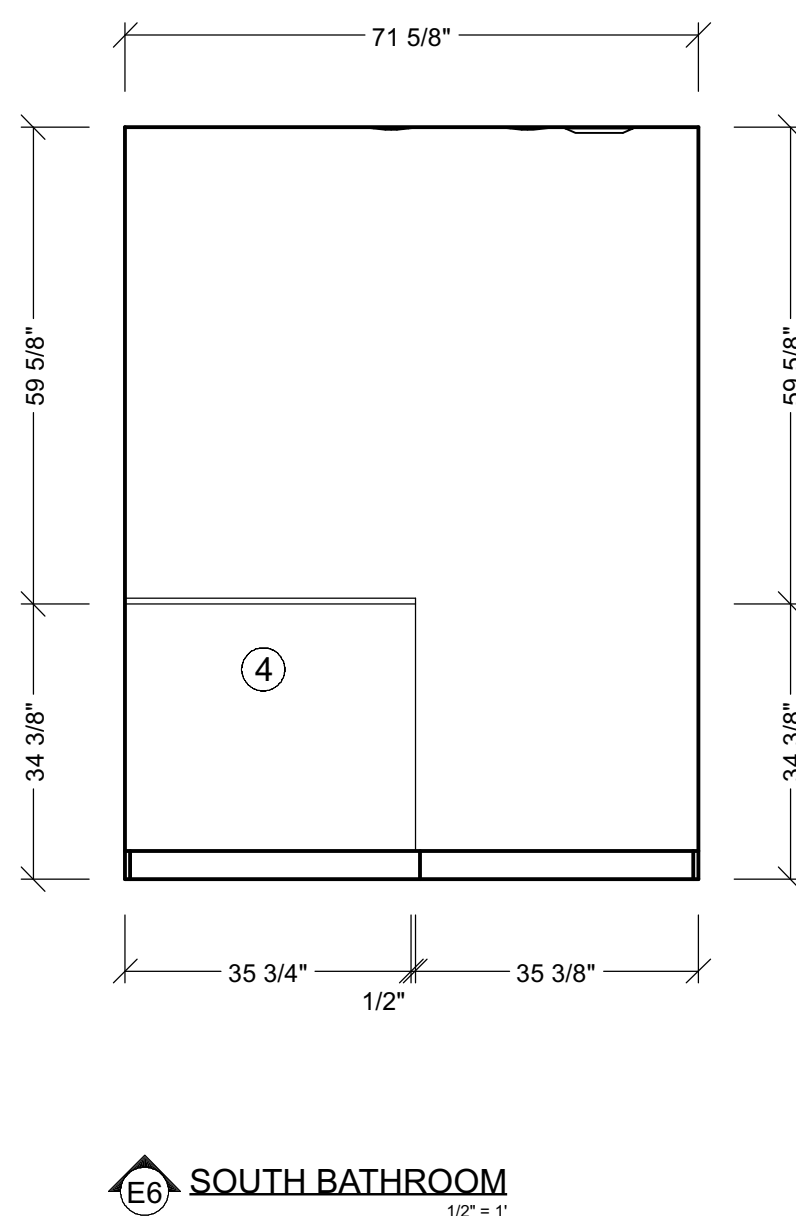
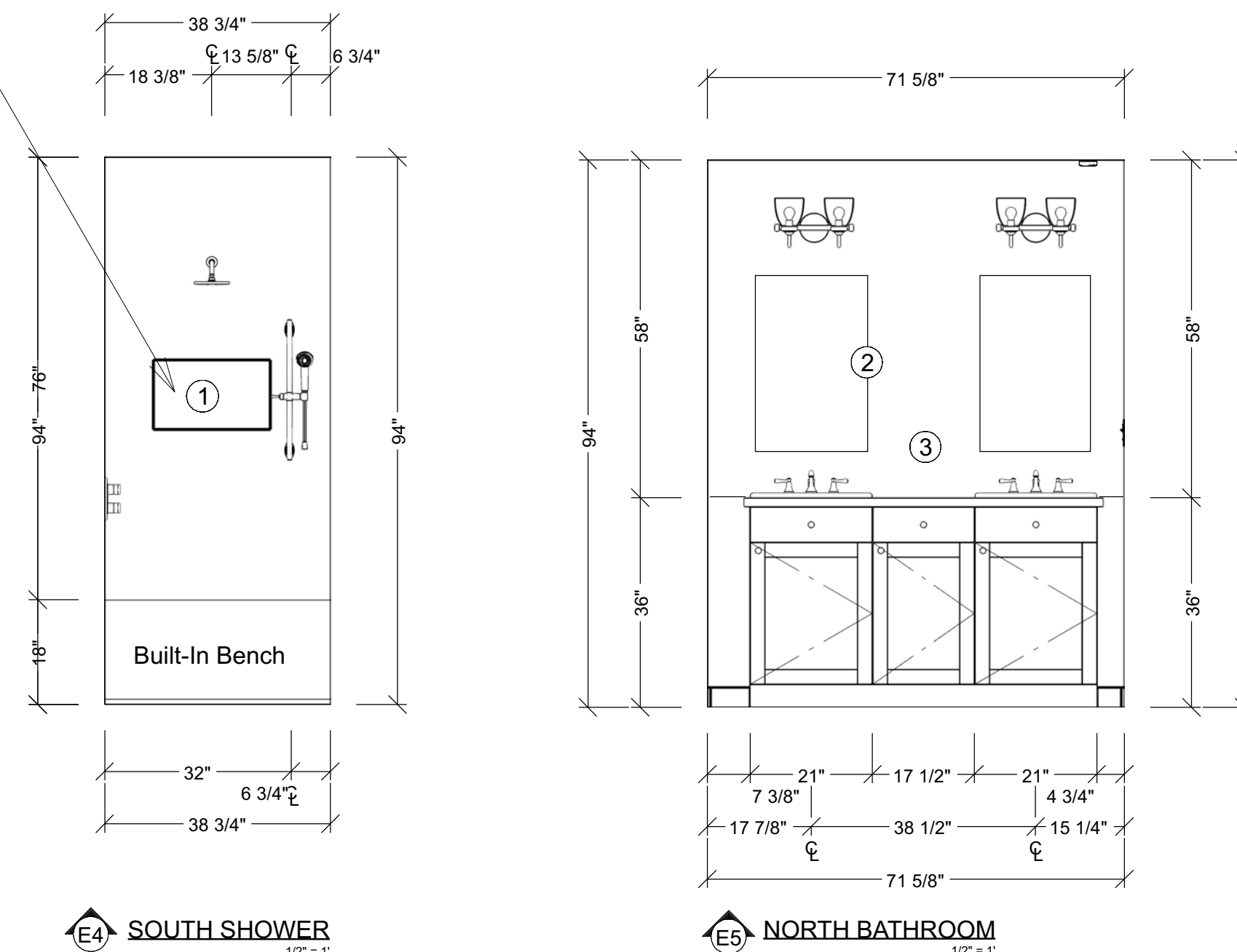
- SHOWER ENCLOSURE WATERPROOFING TO COMPLY WITH CRC SECTION R702.4.2 AND CPC REQUIREMENTS.
- INSULATION AND SOUND ATTENUATION TO BE INSTALLED AT ALL WALLS AND CEILINGS OPENED FOR WORK; R-VALUES PER TITLE 24 COMPLIANCE.
- SMOKE AND CARBON MONOXIDE DETECTORS TO BE INSTALLED/UPDATED AS REQUIRED BY CRC SECTIONS R314 AND R315.
- ENERGY CODE COMPLIANCE (TITLE 24) REQUIRED FOR NEW LIGHTING, CONTROLS, AND EXHAUST FAN INSTALLATIONS.
- ALL NEW WORK TO CONFORM WITH 2022 CRC, CPC, CMC, CEC, CALGREEN, AND CITY OF SAN MATEO MUNICIPAL AMENDMENTS.
- ALL WORK TO COMPLY WITH 2022 CBC, CRC, AND CITY OF SAN MATEO AMENDMENTS.
- CONTRACTOR SHALL VERIFY THAT ALL REMOVED ELEMENTS ARE NON-STRUCTURAL PRIOR TO DEMOLITION; PROVIDE HEADERS OR SUPPORTS IF REQUIRED.
- ALL WORK TO BE INSPECTED PRIOR TO CONCEALMENT.



BATHROOM ELEVATIONS



See "Installation Notes" below for more detail.



INSTALLATION NOTES

- 1 Wall niches shall be 12" x 20" pre-manufactured boxes, installed per manufacturer's instructions, with all outer corners wrapped in Schluter (or equal) edge trim.
 - 2 Recessed medicine cabinets require a wall opening of 19-1/4" W x 31-1/4" H x 4" D for the 20" x 30" cabinet box. Verify final opening dimensions with manufacturer's installation manual prior to rough framing.
 - 3 Wall finish at vanity: install blue Chroma 2-1/2" x 18" tile from the top of the vanity counter to the ceiling.
 - 4 Toilet paper holder to be recessed into pony wall per manufacturer's instructions.
- Refer to installation manuals onsite for all further details during installation. Contractor shall coordinate rough framing, blocking, and clearances accordingly.

ELECTRICAL NOTES (REVISED)

- Medicine cabinets have integrated outlets; wiring shall comply with manufacturer's installation manual and 2022 CEC requirements.
- Provide GFCI protection for cabinet receptacle outlets per CEC 210.8.
- Coordinate wiring with general Electrical Notes on Sheet E1 and verify rough-in box placement prior to wall finish.
- All devices and connections to be UL-listed and installed per manufacturer's instructions.

BATHROOM ELEVATIONS

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

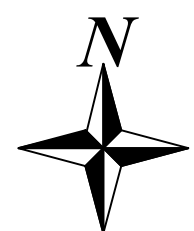
SCALE @ 24" X 36"

DATE: 10/1/2025

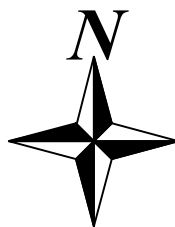
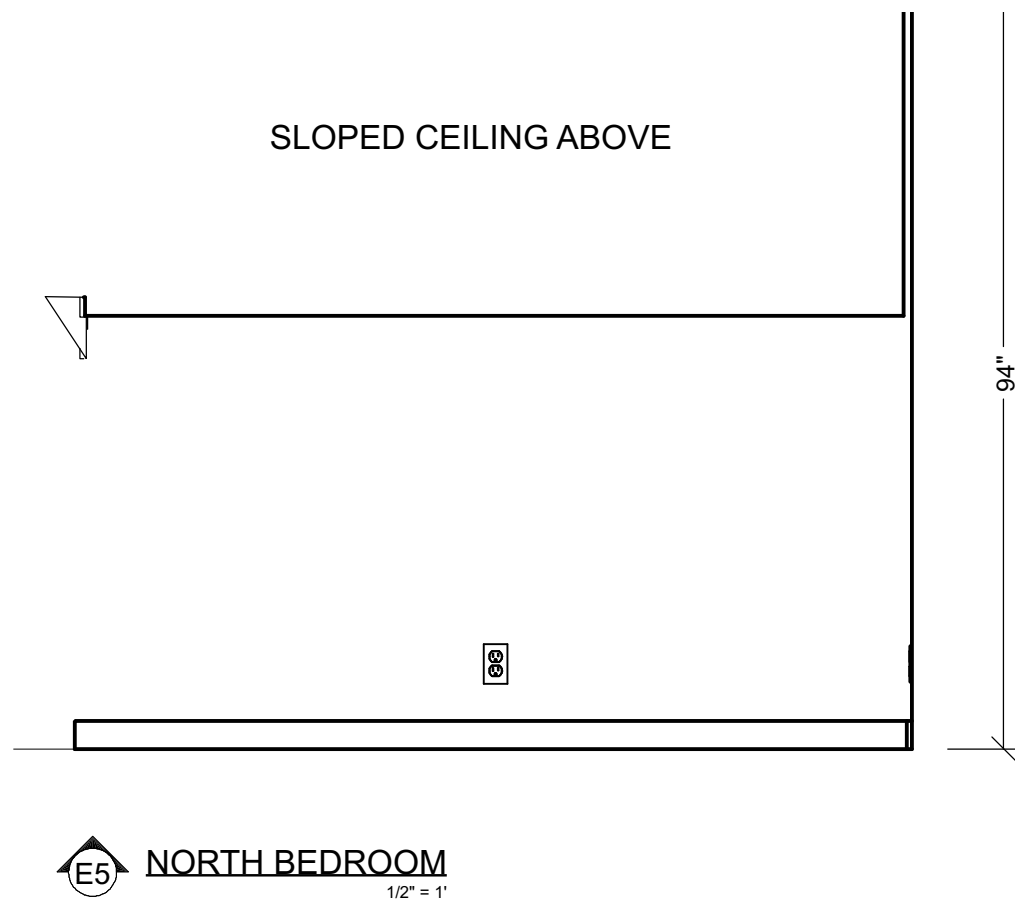
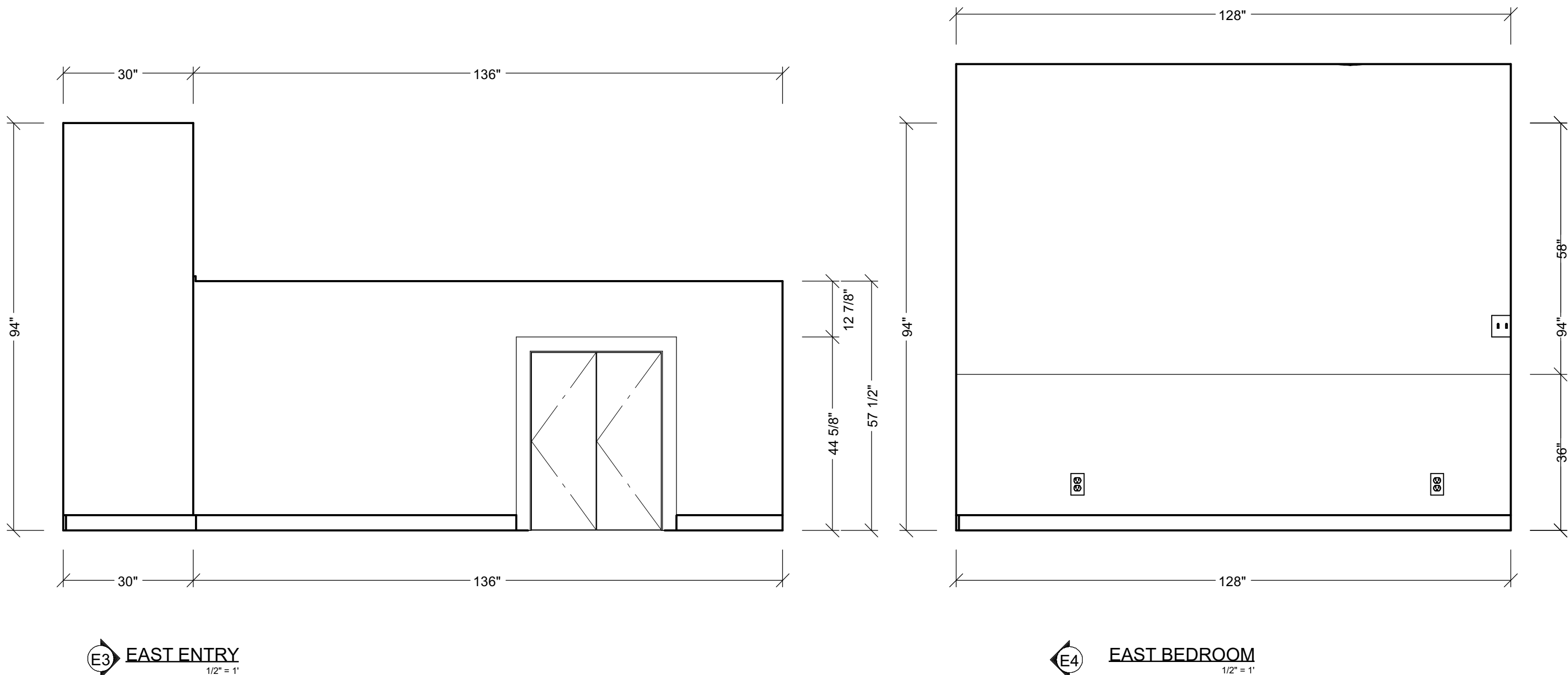
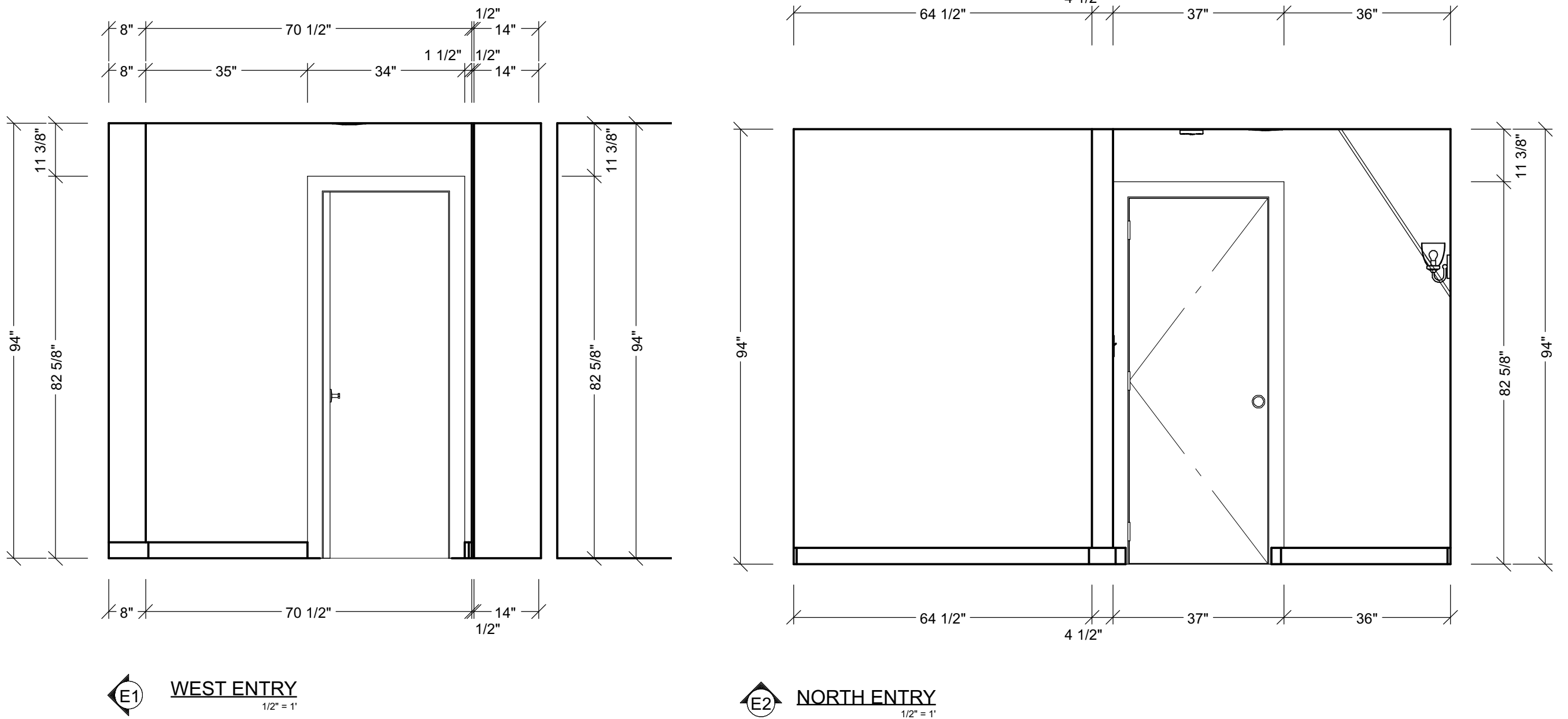
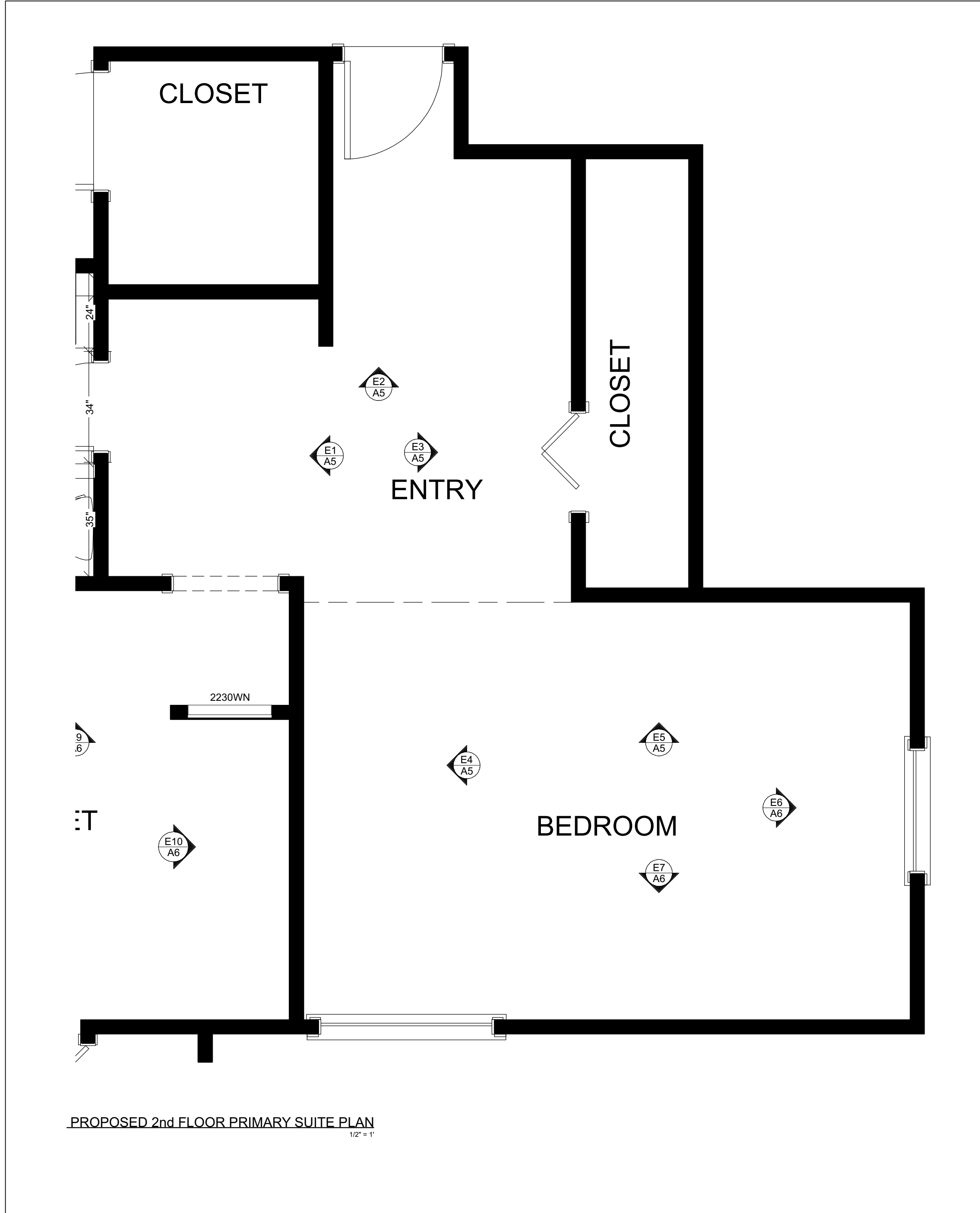
DRAWN BY:
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

A4



BEDROOM & ENTRY ELEVATIONS



BEDROOM & ENTRY
ELEVATIONS

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY: 
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

A5

This floor plan shows a bedroom and three closets. The bedroom is on the right, and the closets are on the left and bottom. Energy audit data points are marked with circles containing 'E' and 'A' numbers. Dimensions are provided for the bedroom and the bottom closet.

Room Labels: CLOSET, CLOSET, CLOSET, BEDROOM.

Energy Audit Data Points:

- E9 A6 (Top Left Closet)
- E8 A6 (Middle Left Closet)
- E10 A6 (Bottom Left Closet)
- E4 A5 (Bedroom, Top Left)
- E5 A5 (Bedroom, Top Right)
- E6 A6 (Bedroom, Right Wall)
- E7 A6 (Bedroom, Bottom Center)
- E11 A6 (Bottom Closet)

Dimensions:

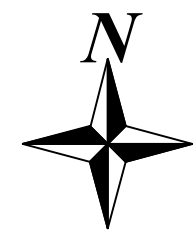
- Bedroom: 186" (width), 124 7/8" (length), 59 1/4" (width of closet area), 1 7/8" (width of closet area).
- Bottom Closet: 94" (width).

Other Features:

- 2230WN (Window/Door label in top left closet)
- Windows (indicated by double lines with inward-pointing arrows)
- Doors (indicated by single lines with inward-pointing arrows)

Floor plan for the South Bedroom (E7). The room is 186" wide and 94" deep. The layout includes a bed area on the left, a window on the right, and a door at the bottom center. The window is 59 1/4" wide and 14 1/4" high, with a total height of 53 7/8" for the window unit. The door is 25 7/8" high. The room is labeled 'E7 SOUTH BEDROOM' with a scale of 1/2" = 1'.

Technical drawing of the South Closet unit. The unit is a rectangular cabinet with a gabled roof. The overall width is 59". The roof has a peak width of 59" and a base width of 33 1/4". The side slopes of the roof are 12 7/8" each. The total height of the unit is 37 7/8". The front panel features a central window with a cross-hatch pattern and a small square logo in the bottom left corner. The logo contains the text "ET" and "SOUTH CLOSET" below it. The unit is shown with a base and a top panel.



© 2025
1700 El Camino Real Spc 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

**371 Fairfax Ave
San Mateo, CA 94402**

McKeand & Coleman

[illegible]

SCALE @ 24" X 36"

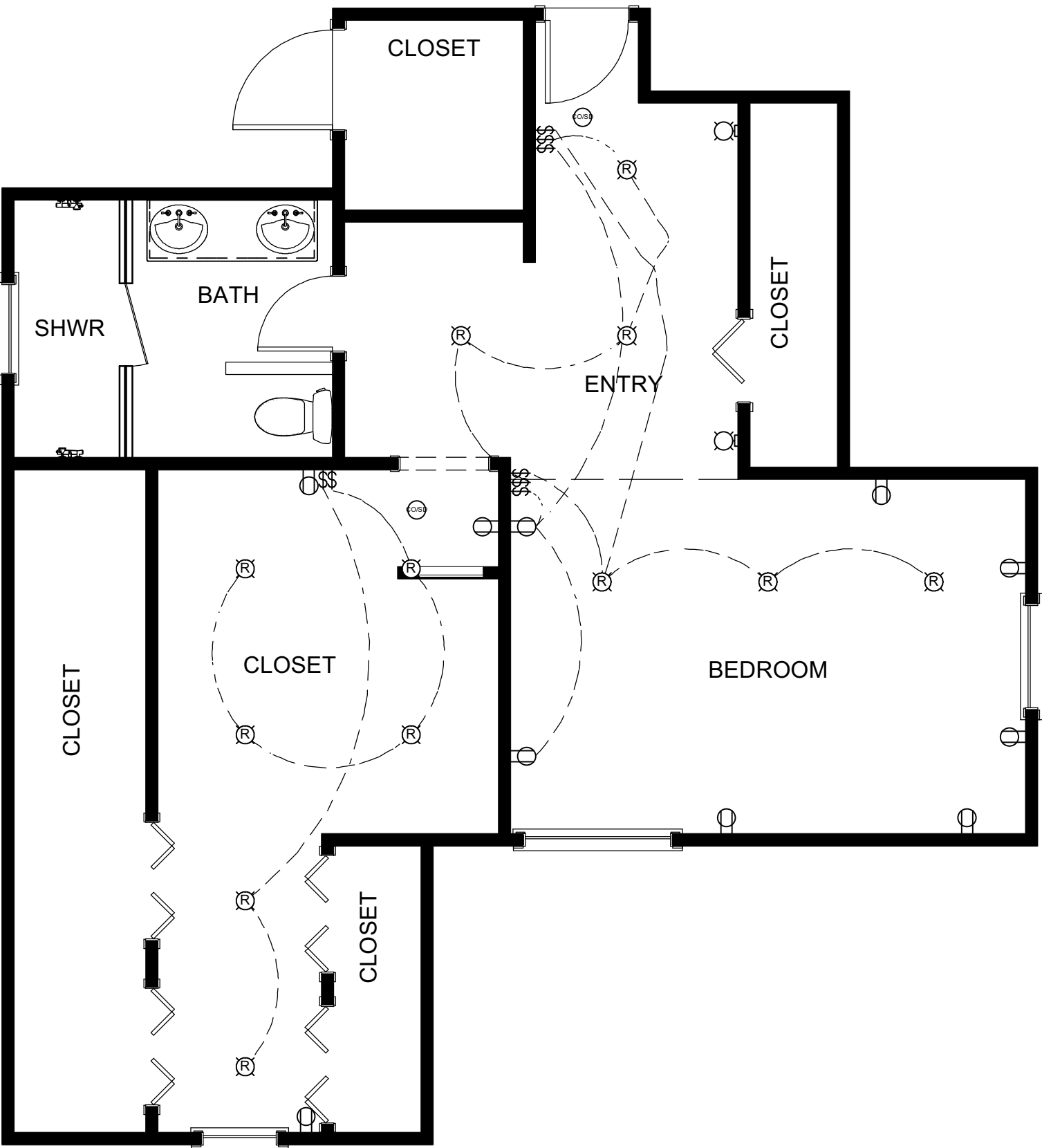
DATE: 10/1/2025

DRAWN BY: *Adrian Dufour*
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

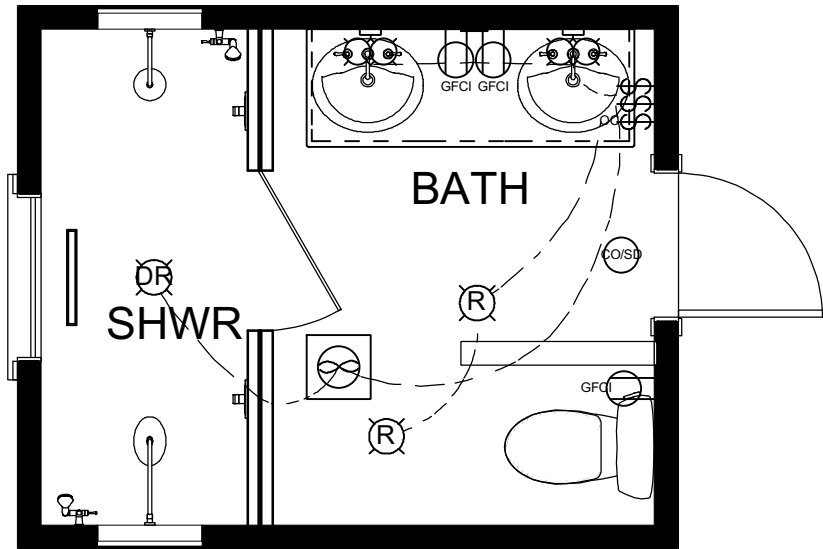
A6

ELECTRICAL PLANS



PROPOSED 2nd FLOOR
PRIMARY SUITE ELECTRICAL
PLAN

1/4" = 1'



PROPOSED BATHROOM
ELECTRICAL PLAN

1/4" = 1'

PRIMARY ELECTRICAL SCHEDULE

- 2 GANG SWITCH
- 3 GANG SWITCH
- BOWL SCONCE 1
- DUPLEX
- RECESSED DOWN LIGHT 6
- CO/SMOKE DETECTOR

BATHROOM ELECTRICAL SCHEDULE

- DAMP-RATED RECESSED DOWN LIGHT 6
- 2 GANG SWITCH
- BOWL SCONCE 2
- EXHAUST
- GFCI
- RECESSED DOWN LIGHT 6
- CO/SMOKE DETECTOR
- OCCUPANCY SENSOR

ELECTRICAL NOTES – CITY OF SAN MATEO

- ALL EXISTING ELECTRICAL COMPONENTS SHALL BE RELOCATED, REMOVED, OR REPLACED AS SHOWN ON THE PROPOSED ELECTRICAL PLAN.
- ALL NEW WORK SHALL COMPLY WITH 2022 CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA ENERGY CODE (TITLE 24, PART 6), CALGREEN, AND CITY OF SAN MATEO AMENDMENTS.
- CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ELECTRICAL WORK. COORDINATE SERVICE UPGRADES, METER RELOCATIONS, AND PANEL REPLACEMENTS WITH PG&E AND THE CITY OF SAN MATEO BUILDING DIVISION.

BRANCH CIRCUITS / PROTECTION

- SIZE ALL CONDUCTORS AND OVERCURRENT PROTECTION PER CEC; PROVIDE PROPER GROUNDING AND BONDING.
- AFCI:** PROVIDE COMBINATION-TYPE AFCI PROTECTION ON ALL 120-V, 15- AND 20-AMP DWELLING CIRCUITS SERVING OUTLETS IN HABITABLE ROOMS (CEC 210.12).
- GFCI:** PROVIDE GFCI PROTECTION AT BATHROOMS, KITCHENS, LAUNDRY AREAS, GARAGES, UNFINISHED BASEMENTS, CRAWLSPACES, EXTERIOR, AND WITHIN 6 FT OF SINKS, TUBS, AND SHOWERS (CEC 210.8).
- SURGE PROTECTION:** PROVIDE A LISTED SURGE PROTECTIVE DEVICE (SPD) AT THE SERVICE EQUIPMENT OR FEEDER PANEL (CEC 230.67).
- DEDICATED 20-A CIRCUITS:**
- BATHROOM RECEPTACLES SHALL BE SERVED BY A DEDICATED 20-A BRANCH CIRCUIT (CEC 210.11(C)(3)).
- LAUNDRY AREA RECEPTACLE(S) SHALL BE SERVED BY A DEDICATED 20-A BRANCH CIRCUIT (CEC 210.11(C)(2)).

RECEPTACLES / SPACING / DEVICES

- RECEPTACLE OUTLET SPACING TO COMPLY WITH CEC 210.52 ("6/12 RULE").
- PROVIDE AT LEAST ONE RECEPTACLE OUTLET AT EACH KITCHEN ISLAND AND PENINSULA (CEC 210.52(C)), IF IN SCOPE.
- PROVIDE AT LEAST ONE RECEPTACLE WITHIN 3 FT OF EACH BATHROOM BASIN (CEC 210.52(D)).
- ALL 125-V, 15- AND 20-A RECEPTACLES SHALL BE **TAMPER-RESISTANT** (CEC 406.12).

LIGHTING / TITLE 24 CONTROLS

- ALL NEW LUMINAIRES SHALL BE HIGH-EFFICACY PER 2022 CALIFORNIA ENERGY STANDARDS.
- RECESSED DOWNLIGHTS IN INSULATED CEILINGS SHALL BE IC-RATED, AIRTIGHT, AND SHALL NOT CONTAIN SCREW-BASED SOCKETS (CEC 150.0(K)1C). LAMPS SHALL BE JA8-2022 OR JA8-2022-E COMPLIANT.
- BATHROOMS, LAUNDRY ROOMS, AND GARAGES SHALL USE VACANCY SENSORS (MANUAL-ON, AUTO-OFF) OR EQUIVALENT CONTROLS PER TITLE 24.
- OTHER ROOMS SHALL COMPLY WITH TITLE 24 DIMMING AND AUTOMATIC SHUTOFF REQUIREMENTS.
- PROVIDE DAMP- OR WET-RATED FIXTURES WHERE INSTALLED IN SHOWERS, BATHROOMS, AND OTHER MOISTURE-PRONE AREAS.
- EXTERIOR LIGHTING SHALL BE HIGH-EFFICACY AND CONTROLLED BY MANUAL SWITCH PLUS PHOTOCELL OR AUTOMATIC SHUTOFF PER TITLE 24.

MECHANICAL / VENTILATION (ELECTRICAL COORDINATION)

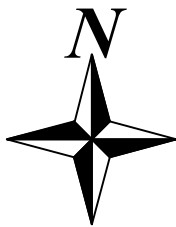
- BATHROOM EXHAUST FANS SHALL PROVIDE 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS, BE DUCTED TO EXTERIOR, ENERGY STAR LISTED, AND ≤1.0 SONE IF INTERMITTENT. PROVIDE INDEPENDENT SWITCH OR HUMIDITY CONTROL.

SMOKE / CARBON MONOXIDE ALARMS

- SMOKE ALARMS: HARD-WIRED WITH BATTERY BACKUP, INTERCONNECTED IN EACH BEDROOM, OUTSIDE SLEEPING AREAS, AND ON EACH STORY PER CRC R314.
- CO ALARMS: HARD-WIRED WITH BATTERY BACKUP, LOCATED OUTSIDE SLEEPING AREAS WHERE FUEL-BURNING APPLIANCES OR GARAGES ARE PRESENT PER CRC R315.

EQUIPMENT / WORKMANSHIP / INSPECTIONS

- MAINTAIN WORKING CLEARANCES AT ELECTRICAL EQUIPMENT PER CEC 110.26 (36" DEPTH, 30" WIDTH, 6'-6" HEADROOM).
- IDENTIFY AND LABEL ALL PANEL CIRCUITS TO CORRESPOND WITH THE PLANS.
- ALL DEVICES, EQUIPMENT, AND WIRING METHODS SHALL BE UL-LISTED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL COORDINATE ELECTRICAL ROUGH-INS WITH FRAMING, PLUMBING, AND MECHANICAL TRADES PRIOR TO CONCEALMENT.
- ALL WORK SHALL BE INSPECTED AND APPROVED PRIOR TO CONCEALMENT; CONTRACTOR SHALL PROVIDE ACCESS TO ATTIC, CRAWLSPACE, AND CONCEALED AREAS FOR INSPECTION.



Dufour Design

© 2025
1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

ELECTRICAL PLANS

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table

#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

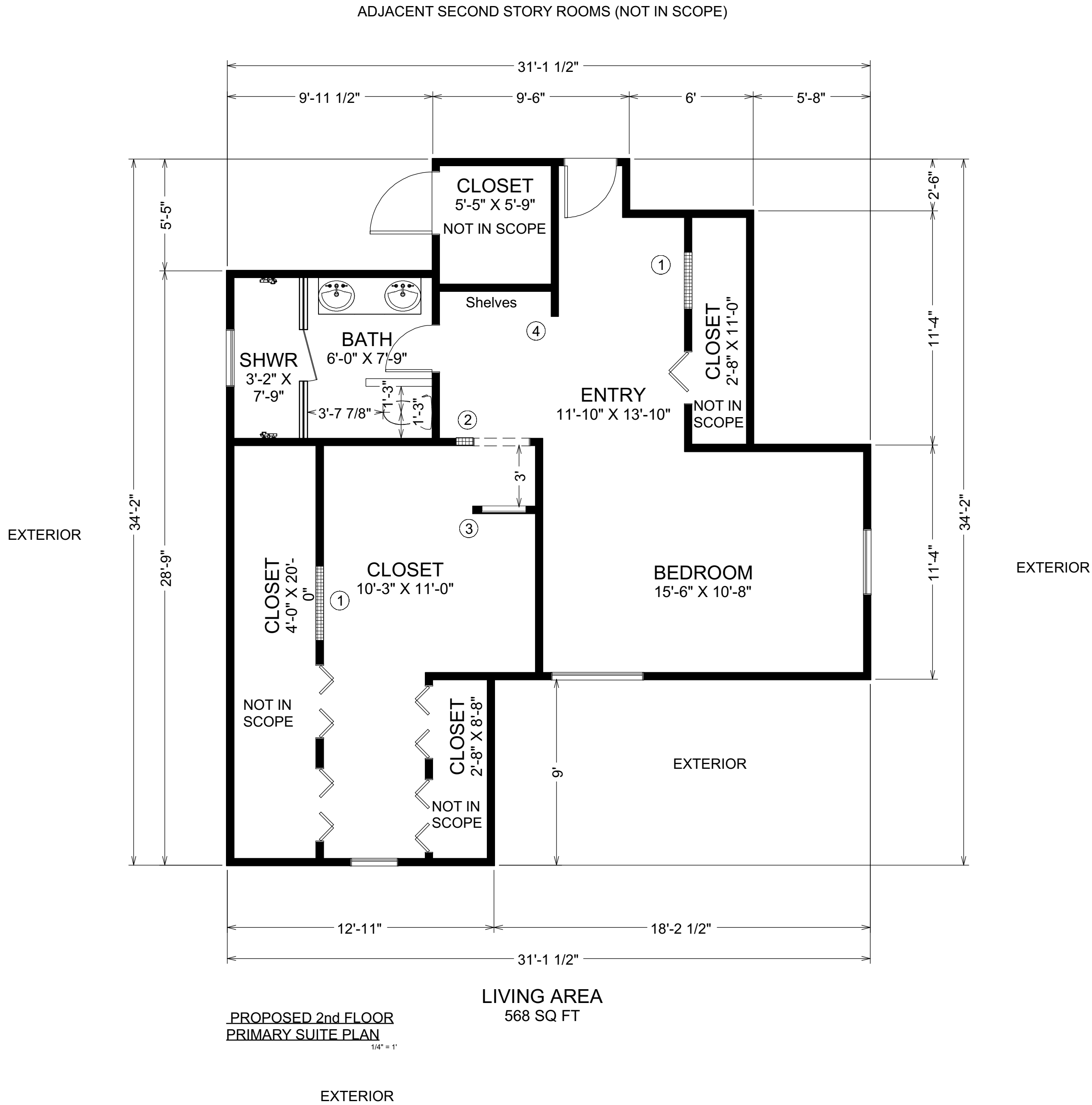
SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY: *Adrian Dufour*
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

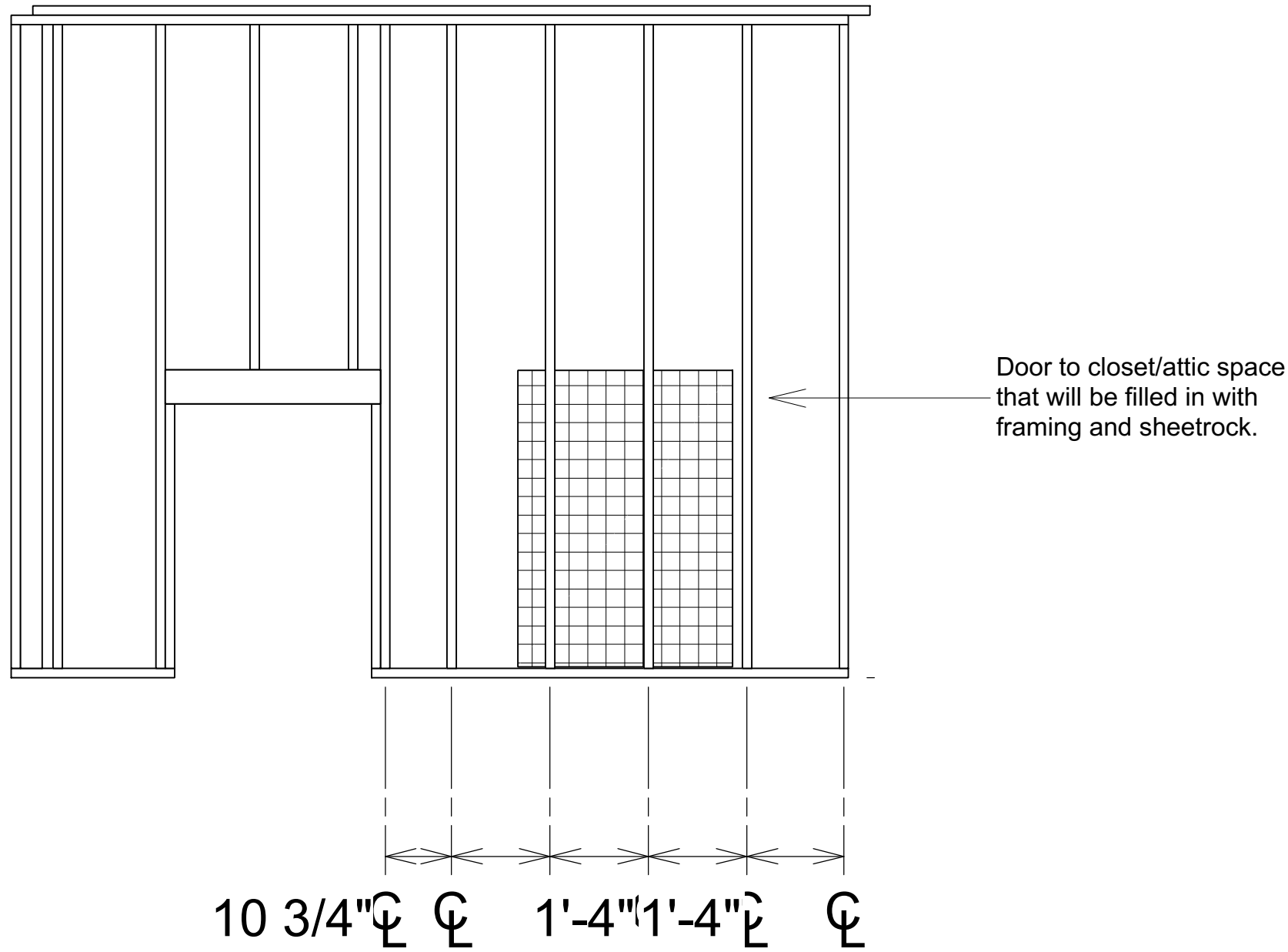
E1



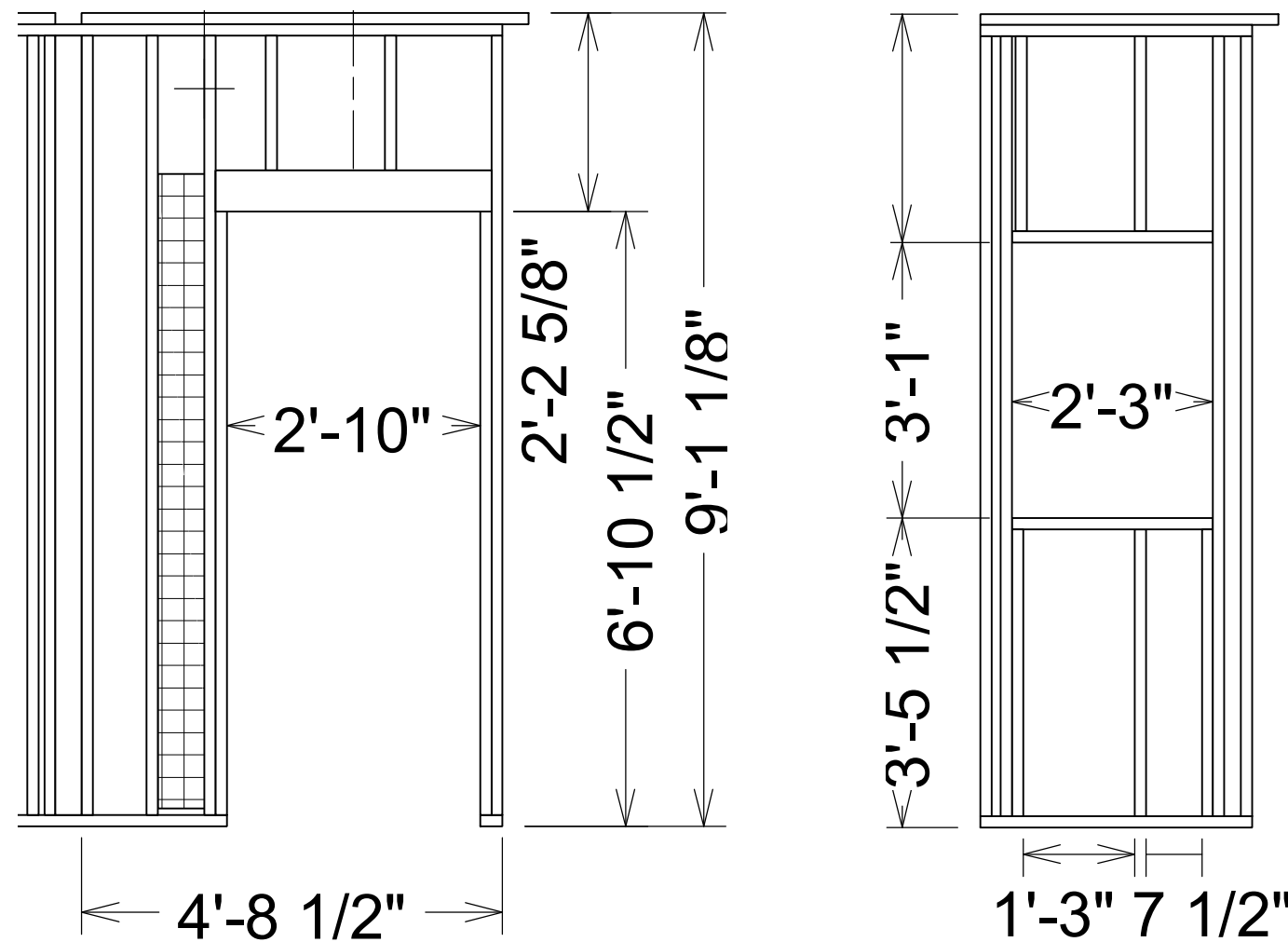
GENERAL FRAMING NOTES

- ALL NEW WALL FRAMING SHALL BE NON-STRUCTURAL UNLESS OTHERWISE NOTED.
- TYPICAL WALL FRAMING TO BE 2x4 WOOD STUDS @ 16" O.C., KILN-DRIED DOUGLAS FIR OR EQUAL, NO. 2 GRADE MINIMUM.
- TOP AND BOTTOM PLATES TO BE 2x4 SPF OR DOUGLAS FIR, SINGLE PLATE UNLESS MATCHING EXISTING REQUIRES DOUBLE.
- WHERE INFILLING FORMER OPENINGS, MATCH EXISTING WALL THICKNESS AND ALIGN FINISH PLANES ON BOTH SIDES.
- PROVIDE FULL-HEIGHT STUDS FROM BOTTOM PLATE TO TOP PLATE; CUT CLEANLY AROUND EXISTING FRAMING AND UTILITIES.
- NAIL ALL PLATES AND STUDS PER CRC TABLE R602.3(1) OR PER MANUFACTURER'S SPECIFICATIONS FOR ENGINEERED FASTENERS.
- PROVIDE SOLID BLOCKING AT MID-HEIGHT WHERE EXISTING WALLS EXCEED 8'-0" IN HEIGHT.
- ALL GYPSUM BOARD JOINTS TO LAND ON FRAMING MEMBERS.
- AT SLAB CONDITIONS, INSTALL SILL GASKET OR SILL SEALER UNDER BOTTOM PLATE.
- COORDINATE FRAMING WITH MEP ROUGH-INS AND VERIFY ALL DIMENSIONS IN FIELD BEFORE INSTALLATION.
- ANY ADJUSTMENTS TO FRAMING LAYOUT, ANCHORAGE, OR DIMENSIONS DUE TO EXISTING CONDITIONS SHALL BE VERIFIED AND APPROVED BY THE CONTRACTOR OR FRAMING SUBCONTRACTOR PRIOR TO CONCEALMENT.
- ALL WORK SHALL COMPLY WITH 2022 CRC, CITY OF SAN MATEO AMENDMENTS, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL FRAMING DIMENSIONS AND ANCHORAGE TO BE FIELD-VERIFIED BY CONTRACTOR; NON-STRUCTURAL INFILL FRAMING ONLY.

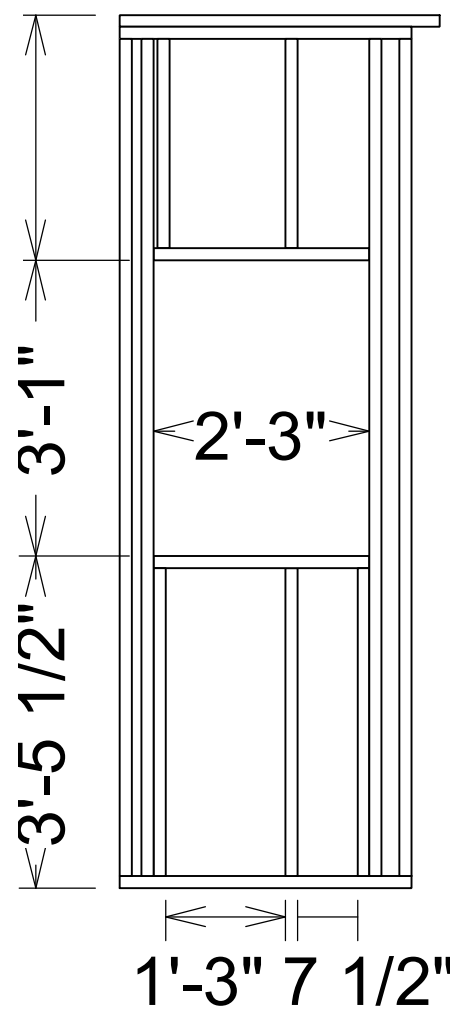
WALL FRAMING DETAILS



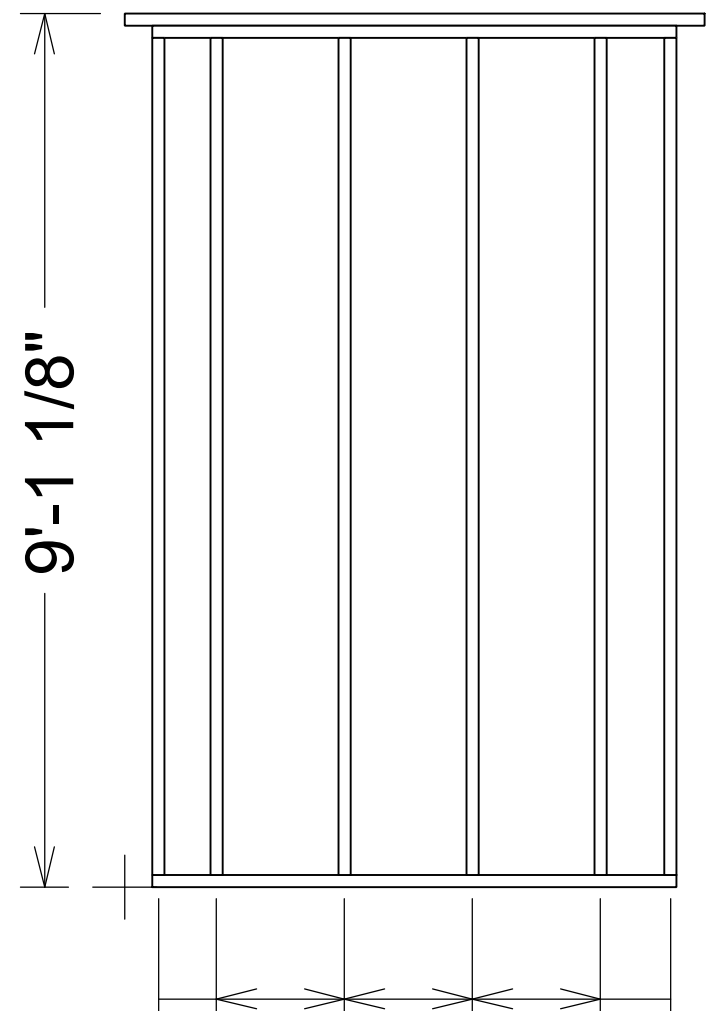
1. ENTRY & CLOSET WALL



2. CLOSET DOORWAY



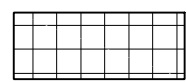
3. ART NICHE CLOSET WALL



4. BOOKCASE NICHE WALL

LEGEND

WALL INFILL



Dufour Design

© 2025
1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

DETAILS

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table

#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY:

Adrian Dufour | Designer

Dufour Design

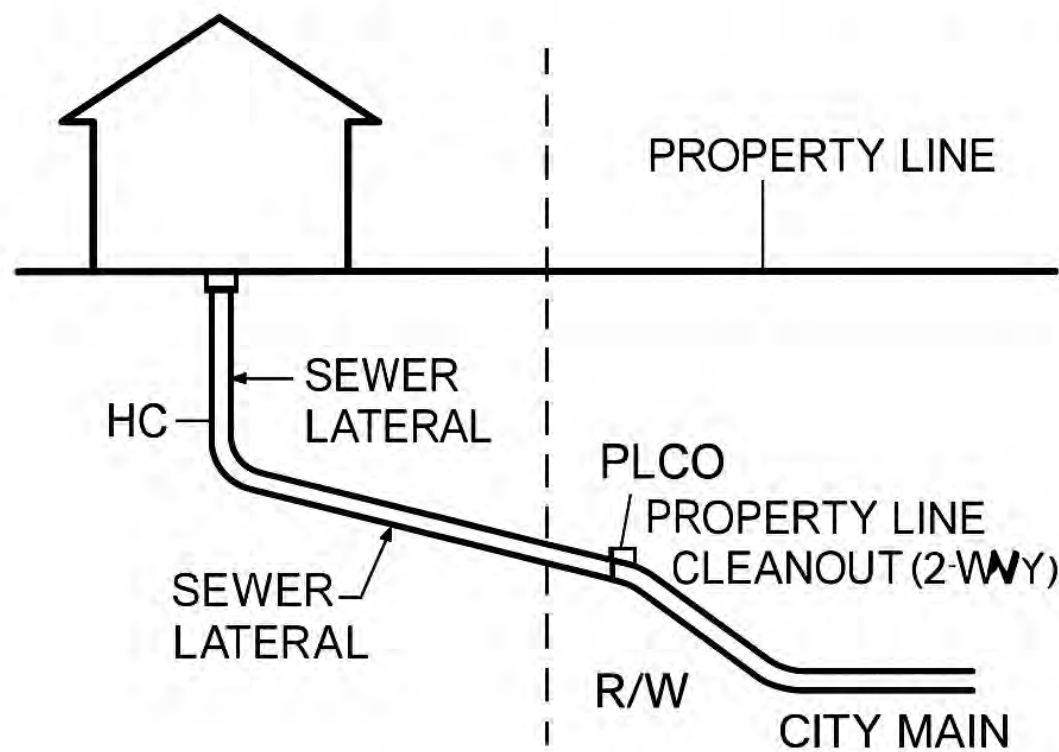
adrian@dufour-design.com

(650) 307-5235

SHEET NUMBER

D1

SEWER LATERAL
REPLACEMENT – TYPICAL



NOTE: WORK IN THE R/W REQUIRES
AN ENCROACHMENT PERMIT.

SEWER LATERAL GENERAL NOTES
1 REPLACE EXISTING PRIVATE SEWER LATERAL FROM HOUSE TO CITY MAIN PER CITY OF SAN MATEO STANDARDS.
2 PROVIDE HOUSE CLEANOUT (HC) AND 2-WAY PROPERTY LINE CLEANOUT (PLCO).
3 WORK WITHIN PUBLIC RIGHT-OF-WAY REQUIRES ENCROACHMENT PERMIT FROM PUBLIC WORKS.
4 ALL WORK TO COMPLY WITH PRIVATE SEWER LATERAL ORDINANCE AND 2022 CPC.

DETAILS

371 Fairfax Ave
San Mateo, CA 94402

McKeand & Coleman

Revision Table			
#	Date	Description	By
2	10/23/2025	Plan Check	AD
3	11/20/2025	Plan Check	AD

SCALE @ 24" X 36"

DATE: 10/1/2025

DRAWN BY: *Adrian Dufour*
Adrian Dufour | Designer
Dufour Design
adrian@dufour-design.com
(650) 307-5235

SHEET NUMBER

D2



Dufour Design

1700 El Camino Real Spt 10-7
South San Francisco, CA
(650) 307-5235 adrian@dufour-design.com

© 2025